

**EAU CLAIRE
CITY COUNCIL**

AGENDA MATERIALS

Monday, November 25, 2024

EAU CLAIRE CITY COUNCIL AGENDA

MONDAY, NOVEMBER 25, 2024

**CITY HALL COUNCIL CHAMBER
203 S. FARWELL STREET 6:00 P.M.**

PLEDGE OF ALLEGIANCE AND ROLL CALL

PUBLIC HEARINGS

GENERAL DEVELOPMENT PLAN AMENDMENT

1. Public hearing on an ordinance amending the general development plan to reduce the required setback with a site plan for a commercial business located at 2832 Damon Street (Z-744-89 Amd).
(Aaron White, Page 5)
-

PUBLIC DISCUSSIONS

TRUCK TRAFFIC REGULATIONS

2. Public discussion on an ordinance amending Chapter 10.48 entitled “Truck Traffic Regulations” of the Code of Ordinances of the City of Eau Claire limiting thru truck traffic on Sheridan Road.
(Leah Ness, Page 29)

STREET EXCAVATIONS & OPENINGS

3. Public discussion on an ordinance amending Chapter 13.10 entitled “Street Excavations and Openings” of the Code of Ordinances of the City of Eau Claire adjusting guarantee amount.
(Leah Ness, Page 32)

DEFINITIONS

4. Public discussion on an ordinance amending Chapter 1.04 entitled “Definitions” of the Code of Ordinances of the City of Eau Claire adding to parking restrictions, June 19.
(Leah Ness, Page 34)

STOP INTERSECTIONS

5. Public discussion on an ordinance amending Table III “Stop Intersections” of the Code of Ordinances of the City of Eau Claire at various downtown intersections.
(Leah Ness, Page 36)

<p>CITY OF EAU CLAIRE VISION STATEMENT EAU CLAIRE IS A VIBRANT CITY WITH EXCEPTIONAL QUALITY OF LIFE AND SERVICES.</p>

PUBLIC COMMENT PERIOD

The City Council desires to hear the viewpoints of residents of the City of Eau Claire on ideas or concerns of citywide application. The Public Comment Period will be for up to 20 minutes (eligible to be extended by 2/3 vote of the City Council members present). Each speaker shall be permitted no more than 3 minutes to speak and shall speak only once per session. Comments shall not be made on noticed agenda items earlier in the meeting.

CLOSED SESSION

Upon a motion duly made and carried, the City Council may go into closed session to conduct the six-month performance evaluation process of the City Manager, an employee over whom the City Council exercises responsibility, which is permitted in closed session pursuant to s. 19.85(1)(c) of the Wisconsin Statutes.
(Page 39)

ADJOURNMENT

PLEASE TAKE NOTICE that an open public regular meeting of the City Council of the City of Eau Claire will be held at **4:00 p.m. on Tuesday, November 26, 2024**, in the City Hall Council Chamber, 203 S. Farwell Street, Eau Claire, Wisconsin, to consider all matters which may properly be considered at a meeting of the City Council.

NOTICE TO CITIZENS

Due to requirements contained in the Wisconsin Open Meetings Law, only those matters placed on this agenda may be considered by the City Council at this meeting. If any member of the public desires that the City Council consider a matter not included on this agenda, he or she should contact a City Council Member or the City Manager to have the matter considered for placement on a future City Council agenda.

PUBLIC HEARING

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, November 25, 2024

Agenda Item: Public hearing on an ordinance to amend the general development plan to reduce the required setback with a site plan for a commercial business located at 2832 Damon Street (Z-744-89 Amd).

SUMMARY / BACKGROUND	
<p>Ordinance to amend the general development plan to reduce the required setback with a site plan for a commercial business located at 2832 Damon Street.</p> <p>The Plan Commission unanimously recommended approval with the conditions noted in the staff report.</p>	

ACTION / ATTACHMENTS	
Action:	Public Hearing
Attachments:	Ordinance Report Map

ORDINANCE

ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF EAU CLAIRE.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DO ORDAIN AS FOLLOWS:

That the Zoning Ordinance for the City of Eau Claire, Wisconsin, is hereby amended by rezoning the following described property:

Property Location: 2832 Damon Street, Parcel Number: 15-3098-B

From

C-2P (Neighborhood Commercial – Planned Development)

to

C-2P (Neighborhood Commercial – Planned Development)

To amend the general development plan to reduce the required setbacks for a proposed retail sales business.

as shown on Planning File No. Z-744-89 Amd, on file in the office of the Department of Community Development.

All provisions of said zoning ordinance now or thereafter adopted, and all regulations now existing or hereafter adopted by the City of Eau Claire connected with or related to C-2P district shall apply to said changed district, and the district map adopted by Section 18.60.020 of the Eau Claire Municipal Code shall thereafter be amended in accordance with this ordinance. The General Development Plan for this property, a copy of which is on file in the office of Community Development and open to public inspection during normal business hours, is hereby approved or approved with conditions, as per Section 18.10.030 B. of the Eau Claire Municipal Code.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

calculations will need to be submitted showing that Total Suspended Solids and Infiltration requirements are met.

Calculations submitted by Advanced Engineering Concepts indicate that on-site detention is not provided so the estimated peak discharge from the developed site generated by a 24-hour design storm event with a 1% exceedance probability (100-year) does not exceed the estimated peak discharge generated by a 24-hour design storm event with a 33% exceedance probability (3-year), from site conditions prior to constructing the proposed improvements. Detailed calculations will need to be submitted showing that this requirement is met.

Utilities: Privately maintained water and sewer service is available to the site from the private drive. Record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a plumbing permit and right-of-way permit. Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test. Traffic: The development should participate in an initial review process to determine if a traffic impact analysis (TIA) should be completed based on WisDOT guidelines. If the initial review determines that a TIA should be completed, the developer should participate in the full analysis.

The plan calls for new 24-foot curb cuts on a private drive, for driveway access. The southern access driveway is required to be 50 feet from the intersection of Damon Street. Please include this dimension showing whether the requirement is met or shift the access driveway to meet the requirement.

Ordinance 18.25.080 states, "A structurally sound abutment, including but not limited to bumper blocks, continuous curb or a retaining wall, shall be installed around each side of the parking lot." Revisions to the site plan will need to be submitted showing this requirement is met.

Transit: The proposed project is not likely to impact Transit. Bus route #5 serves this area once per hour with a bus stop and bus shelter located on the southeast corner of Damon Street and London Road. Passengers have adequate access to the site location by getting off at the London Rd./Damon St. intersection, traveling east one block, and utilizing the crosswalk at Southtowne Drive. With the development in this area, more frequent service may be warranted in the future.



COMMUNITY DEVELOPMENT

Economic Development: (715) 839-4914
Inspections: (715) 839-4947
Planning: (715) 839-4914
Fax: (715) 839-4939

November 4, 2024

Advanced Engineering Concepts
1360 International Drive
Eau Claire, WI 54701

RE: Z-744-89 Amd & SP-2413, 2832 Damon Street – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its November 4, 2024 meeting, reviewed the above-referenced site plan.

A. Conditions to be shown/satisfied on a revised site plan:

The following conditions must be satisfied prior to it being approved:

1. City of Eau Claire Engineering Department approval of drainage calculations, erosion and sediment control plan, and long-term maintenance plan for the proposed BMPs. Provide revised calculations to show peak rate runoff requirements are met or provide reasoning why the design submitted is the maximum extent practical.
2. Approval letter from the owner of the private storm facility, located at the northeast corner of Damon Street and London Road, allowing the “Bypass to Private Drive” storm runoff volumes.
3. Submit an initial review of traffic based on WisDOT guidelines.

After the conditions noted above are met, a building permit may be issued.

The following conditions must be satisfied prior to occupancy permits.

1. Trash dumpsters should be fully screened enclosures.
2. Lighting standards should be in compliance with city standards

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Ryan Petrie
Associate Planner

c: File

Engineering Analysis & Report

Engineering Department



SUBJECT: SP-2413, Scooter's #1583

DATE: October 28, 2024

BY: Al Rinka
Deputy City Engineer

The proposed site plan is located north of Damon Street, west of Highway 93. The following comments are based on materials received by the City of Eau Claire Engineering Department on October 24, 2024.

Grading and Drainage: The site is tributary to Otter Creek via regional ponds discharging to the Southwind Drive outfall.

Storm water best management practices (BMP's) are required to improve runoff water quality. Bioretention facilities are proposed as the water quality BMP's. Materials submitted with the site plan indicate that, in this application, these units are calculated to remove 82% of Total Suspended Solids and Infiltration. The threshold for new development BMP's identified in NR151 is an 80% reduction in Total Suspended Solids. Detailed calculations will need to be submitted showing that Total Suspended Solids and Infiltration requirements are met.

Calculations submitted by Advanced Engineering Concepts indicate that on-site detention is not provided so the estimated peak discharge from the developed site generated by a 24-hour design storm event with a 1% exceedance probability (100-year) does not exceed the estimated peak discharge generated by a 24-hour design storm event with a 33% exceedance probability (3-year), from site conditions prior to constructing the proposed improvements. Detailed calculations will need to be submitted showing that this requirement is met.

Utilities: Privately maintained water and sewer service is available to the site from the private drive. Record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a plumbing permit and right-of-way permit.

Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test.

Traffic: The development should participate in an initial review process to determine if a traffic impact analysis (TIA) should be completed based on WisDOT guidelines. If the initial review determines that a TIA should be completed, the developer should participate in the full analysis.

The plan calls for new 24-foot curb cuts on a private drive, for driveway access. The southern access driveway is required to be 50 feet from the intersection of Damon Street. Please include this dimension showing whether the requirement is met or shift the access driveway to meet the requirement.

Ordinance 18.25.080 states, "A structurally sound abutment, including but not limited to bumper blocks, continuous curb or a retaining wall, shall be installed around each side of the parking lot." Revisions to the site plan will need to be submitted showing this requirement is met.

Transit: The proposed project is not likely to impact Transit. Bus route #5 serves this area once per hour with a bus stop and bus shelter located on the southeast corner of Damon Street and London Road. Passengers have adequate access to the site location by getting off at the London Rd./Damon St. intersection, traveling east one block, and utilizing the crosswalk at Southtowne Drive. With the development in this area, more frequent service may be warranted in the future.

Recommended Conditions:

1. City of Eau Claire Engineering Department approval of drainage calculations, erosion and sediment control plan, and long-term maintenance plan for the proposed BMPs. Provide revised calculations to show peak rate runoff requirements are met or provide reasoning why the design submitted is the maximum extent practical.
2. Approval letter from the owner of the private storm facility, located at the northeast corner of Damon Street and London Road, allowing the "Bypass to Private Drive" storm runoff volumes.
3. Provide dimensions of southern access driveway from the intersection of Damon Street.
4. Provide revised drawings showing structurally sound abutments around each side of the parking lot.
5. Provide retaining wall detail drawings, including both elevation and plan view, showing finished contours and elevations.
6. Submit an initial review of traffic based on WisDOT guidelines.



Advanced Engineering Concepts
1360 International Drive
Eau Claire, WI 54701
Office 715.552.0330
www.aec.engineering

Project Memo

To: Eau Claire Planning

From: Jordan Crusing

CC:

Date: 10/4/2024

Re: GDP amendment request

To whom it may concern,

For parcel 1822122709343109008 we are requesting to remove 55-ft setback requirement.

Jordan Crusing
Civil Designer



Land Use Development Climate Impacts Calculator - Existing

Project Name:
Scooters Coffee

Inputs - Existing

Please enter information in gray highlighted cells

Site - Existing

[Reset inputs for Existing](#)

Existing site status	Undeveloped
Existing land use	Commercial/Public (C-1A, P)
Existing site area	
Ground Cover - Tree / Forest coverage (square feet)	
Ground Cover - Grass, shrub, or wetland (square feet)	26,140
Ground Cover - Crop or pasture (square feet)	
Ground Cover - Open water (square feet)	
Pavement coverage - Asphalt (square feet)	
Pavement coverage - Pervious Asphalt (square feet)	
Pavement coverage - Concrete, compacted earth, or gravel (square feet)	
Pavement coverage - Pervious Concrete or Pervious Pavers (square feet)	
Building coverage - black/dark roofing (square feet)	
Building coverage - white/light roofing (square feet)	
Building coverage - green/living roofing (square feet)	
Total site area	
Square feet:	26,140
Acres:	0.60

Note: do not include area reported as crop or pasture below

Note: include only permanent water features such as ponds, lakes, rivers

Note: include all pavement including parking, sidewalks, trails, etc

Note: include all pavement including parking, sidewalks, trails, etc

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Note: provide "footprint" area only, not total building area

Note: provide "footprint" area only, not total building area

Note: provide "footprint" area only, not total building area

Note: verify reported site area is equal to known project size. If not, please adjust site area numbers above as needed.

Buildings - Existing

Existing Residential - One/Two Family	
Number of buildings	
Total number of units	
Total building area (square feet)	
Existing Residential - Multi-Family	
Number of buildings	
Total number of units	
Total building area (square feet)	
Existing Commercial / Retail / Public	
Number of buildings	0
Total building area (square feet)	0
Existing Industrial	
Number of buildings	
Total building area (square feet)	

Note: a single family building is "1" unit, a two family building is "2"

Energy Use - All Existing Buildings

Is total annual energy use known?	No
If "Yes" please enter below	
Electricity (grid supplied)	0 kWh annually (do not include electricity included below)
Electricity - REC or Xcel	
Renewable Connect purchase	
Electricity (on-site solar/wind)	
Natural Gas	
Liquid Propane	
Fuel Oil/Kerosene	
Wood / Wood pellets	

Vehicles and Trips - Existing

On-Site Vehicle Fleet	
Number of Gasoline / Diesel Vehicles	0
Number of Electric Vehicles	0
Number of Fuel Cell Vehicles	0
Total number of vehicles in fleet	0
Site generated trips - existing	
Auto trips (daily total)	0
Public transit trips (daily total)	0
Bike/walk trips (daily total)	0
Electric Vehicle Infrastructure - existing	
Number of level 2 charging plugs	0
Number of DC fast charging plugs	0

Note: verify reported total is equal to known fleet size. If not, please adjust numbers above as needed.

Estimated Existing Baseline

Greenhouse Gas Emissions Impacts

Annual Emissions	0.0	Metric Tons
	#DIV/0!	Metric Tons per SF

Estimated Average Building Energy Use Intensity (EUI)

Total EUI:	#DIV/0!	kBTU/Square Foot
Electricity EUI share:	#DIV/0!	kBTU/Square Foot
Heating fuel EUI share:	#DIV/0!	kBTU/Square Foot

Heat Island Impacts

Site heat island coefficient	0.0	°F
Change from existing	0.0%	

Carbon Impacts

Annual carbon sequestration	1,365.8	Pounds CO2
Change from existing	0.0%	

Land Use Development Climate Impacts Calculator - Proposed

Project Name:
Scooters Coffee

Inputs - Proposed

Please enter information in yellow highlighted cells

Concept Option 1

Site - Proposed

[Reset inputs for Option](#)

Proposed land use	Commercial/Public (C-1A, P)
Proposed site area	
Ground Cover - Tree / Forest coverage (square feet)	
Ground Cover - Grass, shrub, or wetland (square feet)	13792
Ground Cover - Crop or pasture (square feet)	
Ground Cover - Open water (square feet)	
Pavement coverage - Asphalt (square feet)	
Pavement coverage - Pervious Asphalt (square feet)	
Pavement coverage - Concrete, compacted earth, or gravel (square feet)	11668
Pavement coverage - Pervious Concrete or Pervious Pavers (square feet)	
Building coverage - black/dark roofing (square feet)	
Building coverage - white/light roofing (square feet)	680
Building coverage - green/living roofing (square feet)	
Total site area	
Square feet:	26,140
Acres:	0.60

Buildings - Proposed

Existing Residential - One/Two Family	
Number of buildings	
Total number of units	
Total building area (square feet)	
Existing Residential - Multi-Family	
Number of buildings	
Total number of units	
Total building area (square feet)	
Existing Commercial / Retail / Public	
Number of buildings	1
Total building area (square feet)	680
Existing Industrial	
Number of buildings	
Total building area (square feet)	

Energy Use - All Proposed Buildings

Is projected annual energy use known?	No
If "Yes" please enter below	
Electricity (grid supplied)	200000
Electricity - REC or Xcel	
Renewable Connect purchase	
Electricity (on-site solar/wind)	
Natural Gas	
Liquid Propane	
Fuel Oil/Kerosene	

Vehicles and Trips - Proposed Development

On-Site Vehicle Fleet	
Number of Gasoline / Diesel Vehicles	0
Number of Electric Vehicles	0
Number of Fuel Cell Vehicles	0
Total number of vehicles in fleet	0
Site generated trips - proposed	
Auto trips (daily total)	50
Public transit trips (daily total)	0
Bike/walk trips (daily total)	1
Electric Vehicle Infrastructure - proposed	
Number of level 2 charging plugs	0
Number of DC fast charging plugs	0

Estimated Impacts of Proposed

Concept Option 1

Greenhouse Gas Emissions Impacts

Annual Emissions	93.2
Change from existing	#DIV/0!
Metric Tons per SF	0.1370

Estimated Average Building EUI

Total EUI:	1,003.5
Electricity EUI share:	1,003.5
Heating fuel EUI share:	0.0
Change in Total EUI from existing	#DIV/0!

Heat Island Impacts

Site heat island coefficient	2.1
Change from existing	#DIV/0!

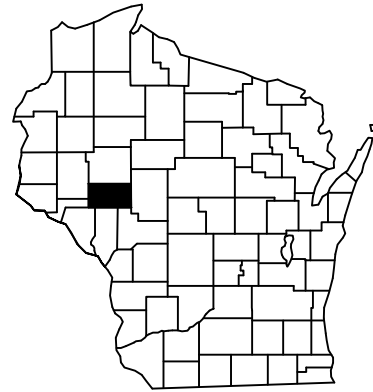
Carbon Impacts

Annual carbon sequestration	720.6
Change from existing	-47.2%

EAU CLAIRE COUNTY



Know what's below.
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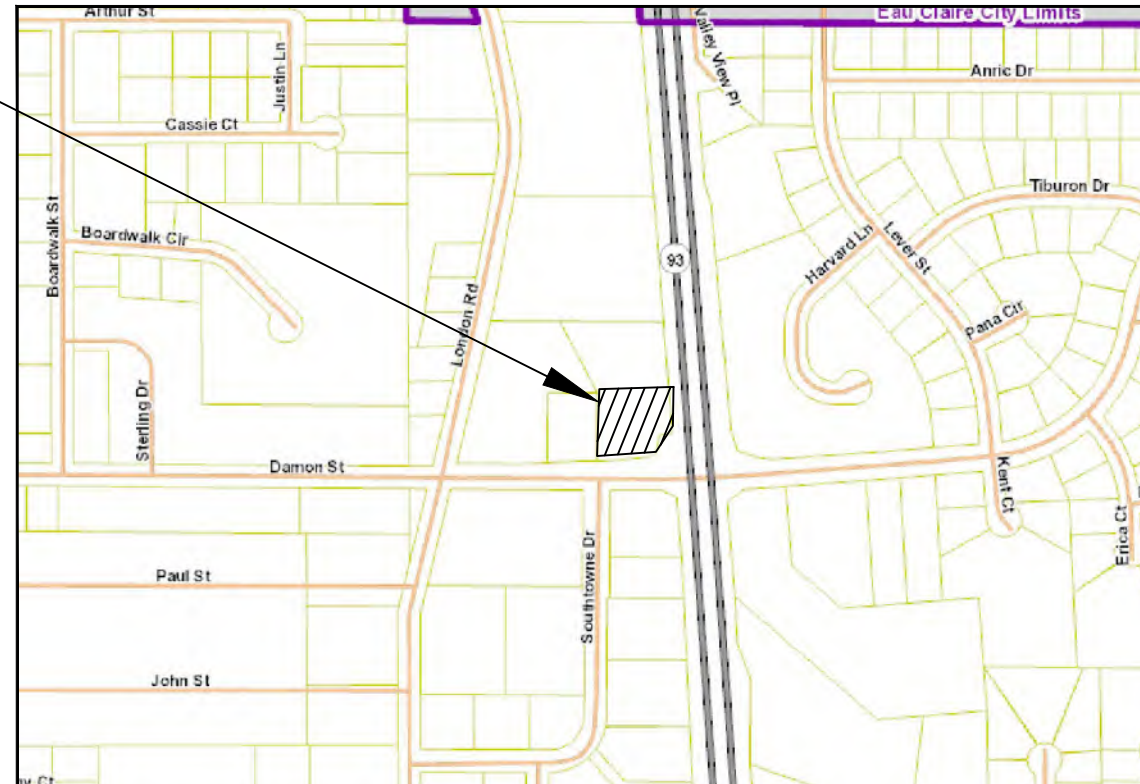


VICINITY MAP

PROJECT LOCATION

SCOOTER'S #1583 BEAN DRIP SERVICES, LLC 2832 DAMON STREET EAU CLAIRE, WI

CONTACTS	
DEPUTY CITY ENGINEER	CITY OF EAU CLAIRE ATTN: AL RINKA (715) 839-4934
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: DAVID MELSNESS (715) 737-1495
GAS	XCEL ENERGY: DESIGN SECTION ATTN: BENJAMEN CARLI (715) 737-1450
CABLE	CHARTER COMMUNICATIONS ATTN: CURT MOORE (715) 831-8940 ext. 51148
SANITARY	CITY OF EAU CLAIRE JAHN EBERHARDT (715) 839-4950
WATER	CITY OF EAU CLAIRE SETH SMISKEY (715) 839-5045
FIRE DEPT.	CITY OF EAU CLAIRE ALLYN BERTRANG (715) 839-2911



LOCATION MAP

- ABBREVIATIONS:**
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
 BTM=BOTTOM (ELEV)
 CL=CENTERLINE
 CS=CURB STOP
 ELEV=ELEVATION
 EOP=EDGE OF PAVEMENT
 EX=EXISTING
 FES=FLARED END SECTION
 FF=FINISHED FLOOR (ELEV)
 FL=FLOWLINE
 GF=GARAGE FLOOR (ELEV) @
 OVERHEAD DOOR
 GLG=GROUND LINE GROOVE
 HWL=HIGH WATER LEVEL
 INV=INVERT
 LF=LINEAR FEET
 LO=LOOKOUT STYLE HOME
 LT=LEFT
 MIN=MINIMUM
 NWL=NORMAL WATER LEVEL
 PC=POINT OF CURVE
 PRC=CURVE REVERSAL POINT
 PT=POINT OF TANGENCY
 RAD=RADIUS
 RT=RIGHT
 R/W=RIGHT OF WAY
 SAN=SANITARY SEWER
 SP=SPOT ELEVATION
 SS=SAFETY SHELF (ELEV)
 STA=STATION
 STM=STORM SEWER
 TC=TOP OF CURB
 T.O.P.=TOP OF PIPE
 TP=TOP OF PAVEMENT
 TYP=TYPICAL
 W=WATER FITTINGS
 WTR=WATER
 WM=WATERMAIN
 WO=WALKOUT STYLE HOME

LEGEND

EXISTING	PROPOSED	
		----BENCHMARK
		----CONTROL POINT
		----SIGN
		----CURB STOP
		----WELL
		----HYDRANT
		----GATE VALVE
		----CURB INLET
		----AREA DRAIN
		----SAN MH
		----STORM MH
		----SAN CLEANOUT
		----GAS MANHOLE
		----LIGHT POLE
		----UTILITY POLE
		----GUY WIRE
		----GUY POLE
		----PULL BOX
		----ELEC PED
		----CABLE PED
		----MAILBOX
		----TELE PED
		----IRON PIPE
		----ROW POST
		----REBAR
		----WATER MAIN
		----SANITARY SEWER
		----STORM SEWER
		----OVERHEAD UTILITY
		----TELEPHONE LINE
		----GAS LINE
		----ELECTRIC LINE
		----CABLE TV LINE
		----TREELINE
		----EXISTING TREES
		----MARSH
		----FENCE LINE
		----WOVEN WIRE FENCE
		----SILT FENCE
		----RETAINING WALL
		----CONTOURS MAJOR
		----CONTOURS MINOR

PROJECT DEVELOPER:
 BEAN DRIP SERVICES, LLC
 ATTN: TERESA DULING
 3436 TERRACE HILL DRIVE NE
 NORTH LIBERTY, IA 52317
 PH: 319.325.6946
 EMAIL: tdduling@gmail.com

PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS
 ATTN: SEAN BOHAN, P.E.
 1360 INTERNATIONAL DRIVE
 EAU CLAIRE, WI 54701
 PHONE: 715.552.0330
 EMAIL: sbohan@aec.engineering

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF EAU CLAIRE SITE PLAN SUBMITTAL		
CITY OF EAU CLAIRE SITE PLUMBING PLAN REVIEW		

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	EROSION CONTROL PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	DETAILS

AEC PROJECT #: 24068 PLANS DATED: OCT 2024



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR.
 EAU CLAIRE, WI 54701
 PH 715-552-0330
 INFO@AEC.ENGINEERING
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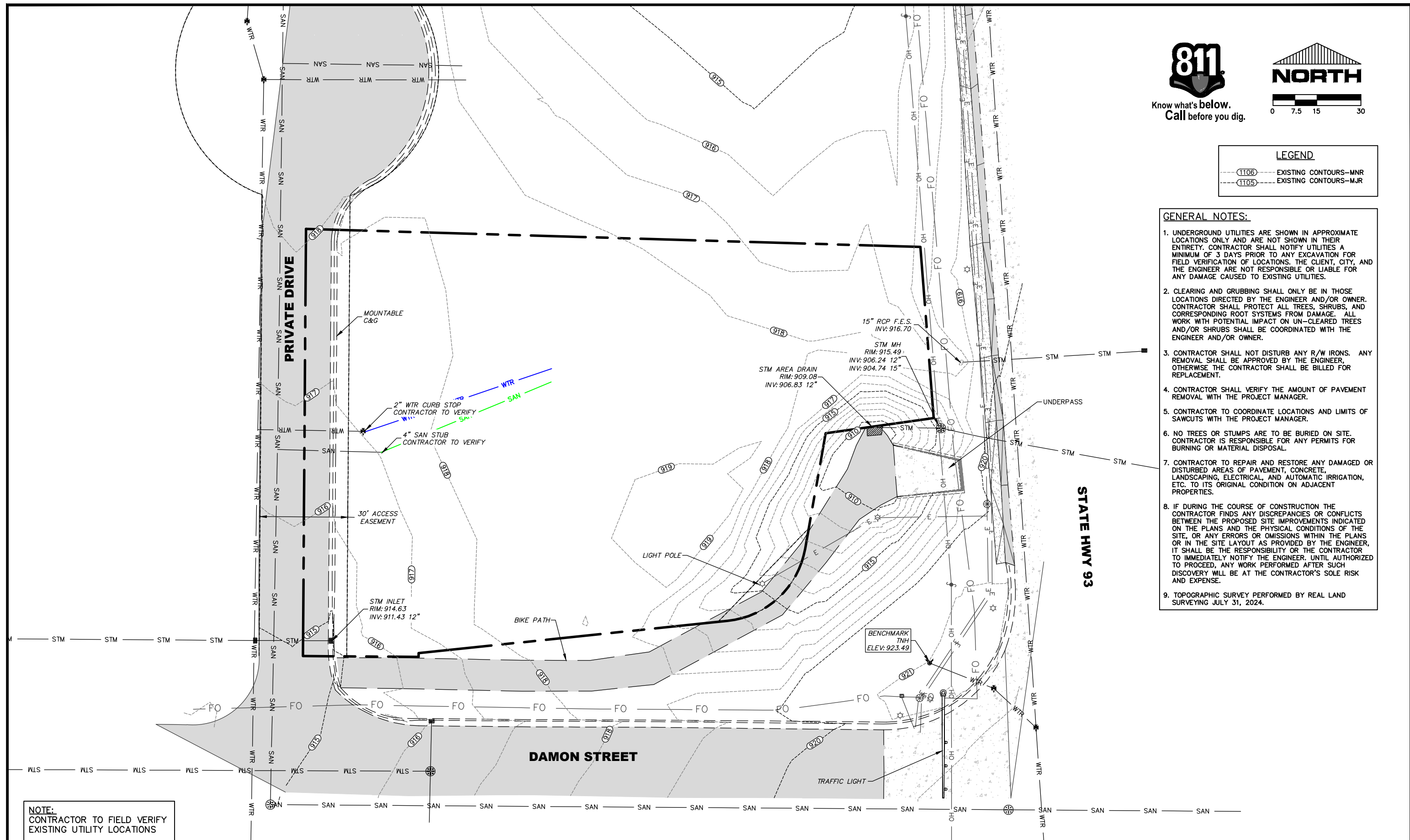
0 7.5 15 30

LEGEND

- (1106)--- EXISTING CONTOURS--MNR
- (1105)--- EXISTING CONTOURS--MJR

GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER. OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
- CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
- NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
- CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- TOPOGRAPHIC SURVEY PERFORMED BY REAL LAND SURVEYING JULY 31, 2024.



NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
24068



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec-engineering.com
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EXISTING CONDITIONS AND DEMOLITION PLAN

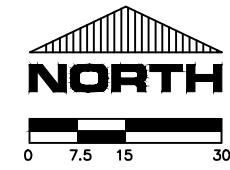
SCOOTER'S #1583
BEAN DRIP SERVICES, LLC
2832 DAMON STREET
EAU CLAIRE, WI

DWG NAME
24068 PG2
EXISTING
DATE
10/2024

2
7



Know what's below.
Call before you dig.



SITE PLAN KEY NOTES	
1	24" RECEIVED C&G DETAIL C-310
2	24" REJECT C&G DETAIL C-312
3	ACCESSIBLE RAMP DETAIL C-434
4	CURB TAPER DETAIL C-385 (BARRIER TO MOUNTABLE)
5	MONUMENT SIGN
6	DRIVE THRU SIGN
7	CLEARANCE BAR
8	DRIVE THRU ORDER POST W/ CLEARANCE BAR
9	MENU BOARD
10	MATCH MOUNTABLE CURB
11	S/W CURB DETAIL C-390
12	71" RETAINING WALL - HEIGHT VARIES (BY OTHERS)
13	TRASH ENCLOSURE (VERIFY W/ ARCH.)
14	24" MOUNTABLE CURB DETAIL C-320
15	24" REJECT MOUNTABLE CURB DETAIL C-322
16	3" CURB CUT DETAIL C-386
17	CONC. FLUME DETAIL C-387

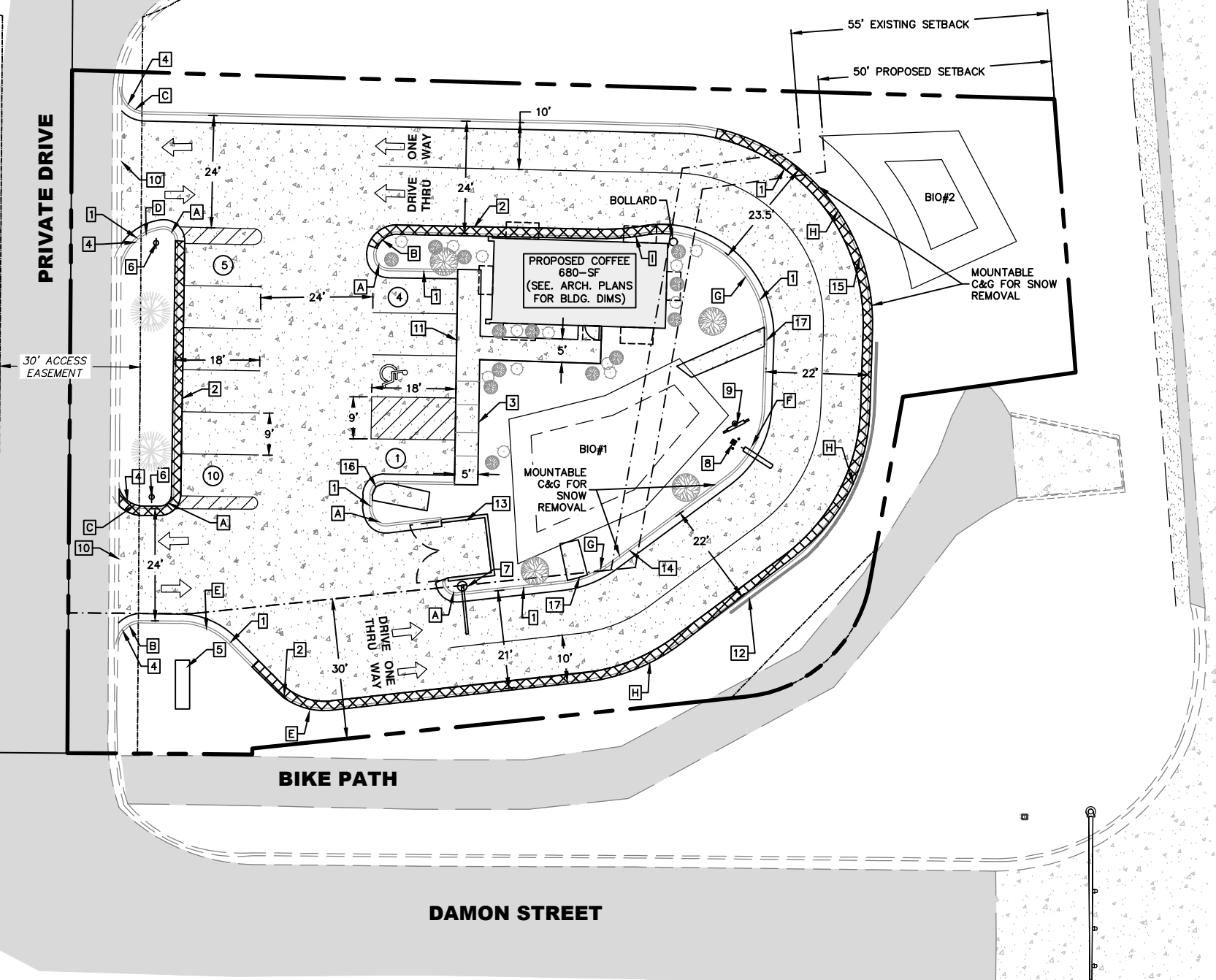
BACK OF CURB RADIUS KEY	
A	2.5' RADIUS
B	4.5' RADIUS
C	5' RADIUS
D	10' RADIUS
E	15' RADIUS
F	19.5' RADIUS
G	22' RADIUS
H	42.5' RADIUS
I	50.5' RADIUS

LANDSCAPING LEGEND	
	DECIDUOUS 'STREET TREE' (MIN. 2" CALIPER)
	SMALL MIXED SHRUBS
	CONIFEROUS TREE

NOTES:

1. THE BUILDING WILL HAVE DOWNCAST EXTERIOR LIGHTS MOUNTED ON THE BUILDING NEAR EACH ENTRANCE.
2. LANDSCAPING WILL CONSIST OF SHRUBS AND GROUND COVER PLANTED ADJACENT TO THE EXTERIOR OF THE PROPOSED BUILDINGS. THE LANDSCAPING WILL BE PROFESSIONALLY INSTALLED PRIOR TO OCCUPANCY.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



SCOOTER'S #1583 2832 DAMON STREET	
CURRENT ZONING:	C2P
LOT SIZE:	26,140 SF (0.60 AC.)
EXISTING IMPERVIOUS AREA:	0.0-SF (0.0%)
PROPOSED USE:	DRIVE THRU COFFEE
PROPOSED BUILDING:	680-SF (2.6%)
PROPOSED PAVEMENT:	11,290-SF (43.2%)
PROPOSED SIDEWALK:	374-SF (1.4%)
OVERALL IMPERVIOUSNESS:	12,344-SF (47.2%)
GREEN SPACE:	13,796-SF (52.8%)
PARKING STALLS:	10 TOTAL (1 ACCESSIBLE)
STORM WATER TREATMENT:	BIO-RETENTION BASINS
SETBACKS:	
FRONT:	30-FT (DAMON ST)
FRONT:	EXISTING 55-FT PROPOSED 50-FT (US HWY 93)
SIDE:	0-FT

HATCHING LEGEND	
	EXISTING BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)
	REJECT CURB & GUTTER

TYPICAL CONC. SECTION	
	CONC. PAVEMENT 6"
	8" BASE COURSE
	12" SUB BASE

NOTE: PAVEMENT SECTIONS TO BE RECOMMENDED BY GENERAL CONTRACTOR OR GEOTECHNICAL ENGINEER. PAVEMENT SECTIONS ARE SHOWN FOR HOLD-DOWN CALCULATIONS ONLY.

CIRCULATION PLAN	
	VEHICULAR TRAFFIC DIRECTION

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO.
24068



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec.engineering
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SITE & CONCEPTUAL LANDSCAPE PLAN

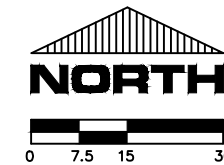
SCOOTER'S #1583
BEAN DRIP SERVICES, LLC
2832 DAMON STREET
EAU CLAIRE, WI

DWG NAME
24068 PG3
SITE
DATE
10/2024

3
7



Know what's below.
Call before you dig.



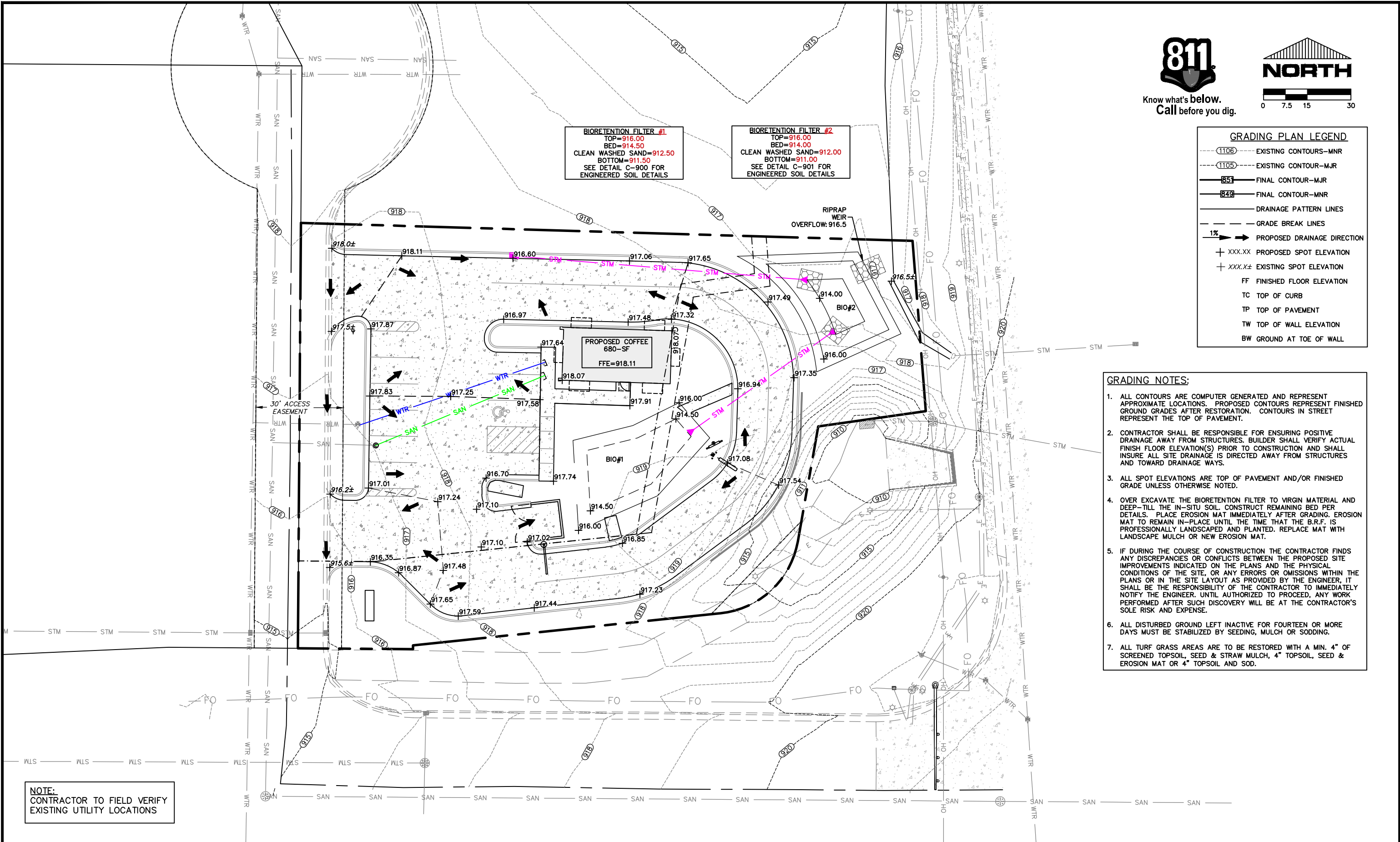
BIORETENTION FILTER #1
TOP=916.00
BED=914.50
CLEAN WASHED SAND=912.50
BOTTOM=911.50
SEE DETAIL C-900 FOR
ENGINEERED SOIL DETAILS

BIORETENTION FILTER #2
TOP=916.00
BED=914.00
CLEAN WASHED SAND=912.00
BOTTOM=911.00
SEE DETAIL C-901 FOR
ENGINEERED SOIL DETAILS

GRADING PLAN LEGEND	
	EXISTING CONTOURS-MNR
	EXISTING CONTOUR-MJR
	FINAL CONTOUR-MJR
	FINAL CONTOUR-MNR
	DRAINAGE PATTERN LINES
	GRADE BREAK LINES
	PROPOSED DRAINAGE DIRECTION
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	FF FINISHED FLOOR ELEVATION
	TC TOP OF CURB
	TP TOP OF PAVEMENT
	TW TOP OF WALL ELEVATION
	BW GROUND AT TOE OF WALL

- GRADING NOTES:**
- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
 - ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
 - OVER EXCAVATE THE BIORETENTION FILTER TO VIRGIN MATERIAL AND DEEP-TILL THE IN-SITU SOIL. CONSTRUCT REMAINING BED PER DETAILS. PLACE EROSION MAT IMMEDIATELY AFTER GRADING. EROSION MAT TO REMAIN IN-PLACE UNTIL THE TIME THAT THE B.R.F. IS PROFESSIONALLY LANDSCAPED AND PLANTED. REPLACE MAT WITH LANDSCAPE MULCH OR NEW EROSION MAT.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.
 - ALL TURF GRASS AREAS ARE TO BE RESTORED WITH A MIN. 4" OF SCREENED TOPSOIL, SEED & STRAW MULCH, 4" TOPSOIL, SEED & EROSION MAT OR 4" TOPSOIL AND SOD.

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 24068		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec-engineering.com COPYRIGHT 2024 AEC LLC.	GRADING PLAN	SCOOTER'S #1583 BEAN DRIP SERVICES, LLC 2832 DAMON STREET EAU CLAIRE, WI	DWG NAME 24068 PG5 GRADING	5
DATE 10/2024					DATE 10/2024	7



Know what's below.
Call before you dig.

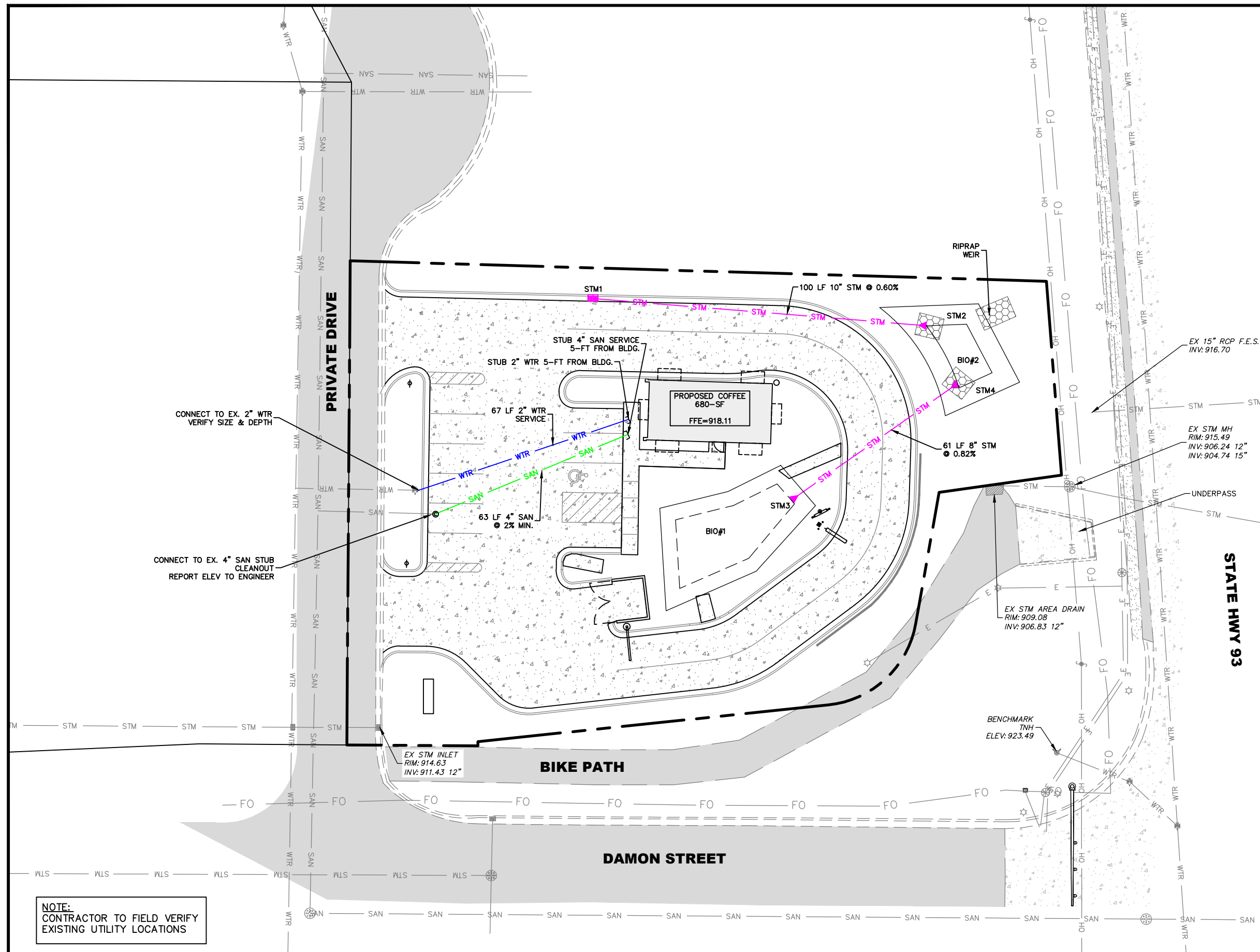


0 7.5 15 30

STORM SEWER TABLE					
STRUCTURE NO.	DETAIL NO.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-100	916.60	914.60	E	10"
STM2	SS-460	-	914.00	W	10"
	C-111				
STM3	SS-460	-	914.50	E	8"
STM4	SS-460	-	914.00	W	8"
	C-111				

UTILITY NOTES:

1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
2. MANHOLES ARE 48" UNLESS OTHERWISE NOTED.
3. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
4. MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO CITY OF EAU CLAIRE. REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
5. 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
6. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
7. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
8. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/4" PER FOOT FOR ALL 4-INCH PIPE (200 DFU'S).
9. CONTRACTOR SHALL VERIFY THE TOTAL DRAINAGE FIXTURE UNITS (DFU's) AND PIPE SIZES WITH THE PLUMBING PLANS.
10. SANITARY SEWER SERVICE SHALL BE PVC (SDR 35).
11. WATER SERVICE SHALL BE 2" I.D. TYPE-K COPPER OR 2" I.D. HDPE OR APPROVED EQUAL.
12. STORM SEWER SHALL BE ADS N-12 WT IB PIPE OR PRINSCO GOLDFLO WT OR SDR35 PVC OR APPROVED EQUAL. HDPE STORM SEWER IS ALLOWED WITHIN THE CITY OF EAU CLAIRE RIGHT-OF-WAY FOR DIRECT CONNECTIONS.
13. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
14. ALL EXTERIOR PLUMBING WORK SHALL BE BUILT ACCORDING TO THE CITY OF EAU CLAIRE STANDARD GENERAL CONDITIONS FOR STREET AND UTILITY CONSTRUCTION.
15. MANHOLES SHALL BE CONSTRUCTED AS DETAILED AND SET PLUMB WITH A MAXIMUM DEVIATION OF +/- 0.1 FOOT FROM VERTICAL.
16. LAY PIPE TO SLOPE GRADIENTS NOTED ON DRAWINGS; WITH MAXIMUM VARIATION FROM TRUE SLOPE OF 1/8 INCH IN 10 FEET.



CONNECT TO EX. 2" WTR
VERIFY SIZE & DEPTH

CONNECT TO EX. 4" SAN STUB
CLEANOUT
REPORT ELEV TO ENGINEER

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

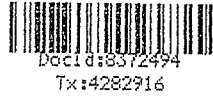
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 24068		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec.engineering COPYRIGHT 2024 AEC LLC.	UTILITY PLAN	SCOOTER'S #1583 BEAN DRIP SERVICES, LLC 2832 DAMON STREET EAU CLAIRE, WI	DWG NAME 24068 PG6 UTILITY	6
DATE 10/2024					7	



SCOOTER'S
COFFEE DRIVE-THRU



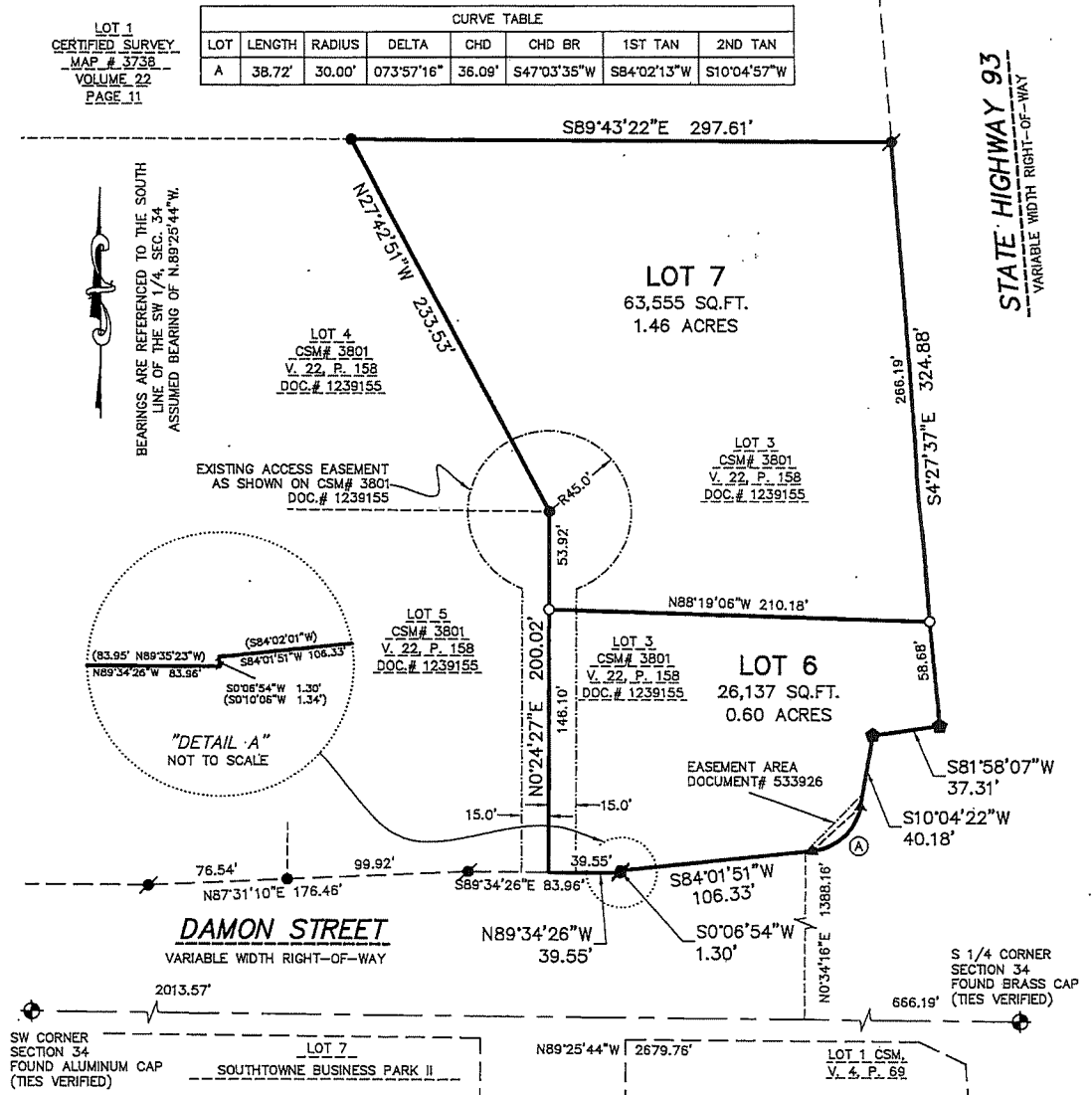


1256985

CERTIFIED SURVEY MAP, NUMBER 3941

LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4,
SECTION 34, TOWNSHIP 27 NORTH, RANGE 9 WEST,
CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN
BEING ALL OF LOT 3 OF CSM# 3801, V. 22, P. 158, DOC.# 1239155

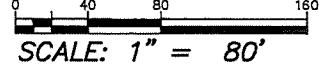
TINA K. POMMIER
EAU CLAIRE COUNTY WI
REGISTER OF DEEDS
RECORDED ON
07/23/2024 01:19 PM
REC FEE: 30.00
CSM NO: 3941
VOL: 24 CSM PAGE: 113
PAGES: 2



CURVE TABLE							
LOT	LENGTH	RADIUS	DELTA	CHD	CHD BR	1ST TAN	2ND TAN
A	38.72'	30.00'	073°57'16"	36.09'	S47°03'35"W	S84°02'13"W	S10°04'57"W

ABBREVIATIONS:
COR. - CORNER
CSM# - CERTIFIED SURVEY MAP NUMBER
DOC.# - DOCUMENT NUMBER
FND. - FOUND
LBS/LF - POUNDS PER LINEAR FOOT
O.D. - OUTSIDE DIAMETER
R/W - RIGHT OF WAY
R#W - RANGE # WEST
SEC. - SECTION
SQ.FT. - SQUARE FEET
V.# - VOLUME #
P. - PAGE #

REAL LAND SURVEYING, LLC
1356 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
(715)514-4116
rlswl.com
CADD No. 24215 CSM



- LEGEND**
- ▲ FOUND SURVEY NAIL
 - FOUND ALUMINUM MONUMENT
 - FOUND 3/4" REBAR
 - SET 1" OUTSIDE DIAMETER x 18" IRON PIPE WEIGHING 1.13 POUNDS PER LINEAR FOOT
 - () RECORDED AS

FIELDWORK
COMPLETION
DATE:
06/24/2024



SHEET 1 OF 2 SHEETS

G-4393

VOLUME 24 OF CERTIFIED SURVEY MAPS, PAGE 114
CERTIFIED SURVEY MAP, NUMBER 3941

LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4,
SECTION 34, TOWNSHIP 27 NORTH, RANGE 9 WEST,
CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN
BEING ALL OF LOT 3 OF CSM# 3801, V. 22, P. 158, DOC.# 1239155

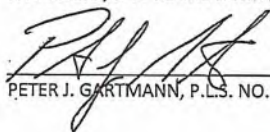
SURVEYOR'S CERTIFICATE:

I, PETER J. GARTMANN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:
THAT BY THE DIRECTION OF DEAN C. LARSEN REPRESENTATIVE OF LARSCO LLC., I HAVE SURVEYED, DIVIDED AND MAPPED THE
LAND PARCEL WHICH IS REPRESENTED BY THIS CERTIFIED SURVEY MAP.

THAT THE EXTERIOR BOUNDARY OF THE LAND PARCEL SURVEYED AND MAPPED IS AS FOLLOWS: A PARCEL OF LAND
LOCATED IN THE NORTHEAST 1/4 - SOUTHWEST 1/4, SECTION 34, TOWNSHIP 27 NORTH, RANGE 9 WEST, CITY OF EAU CLAIRE,
EAU CLAIRE COUNTY, WISCONSIN, BEING ALL OF LOT 3 CSM# 3801, V. 22, P. 158, DOC.# 1239155, AND BEING MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

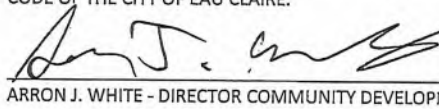
- BEING ALL OF LOT 3 OF CSM# 3801, V. 22, P. 158, DOC.# 1239155
AND BEING SUBJECT TO EXISTING EASEMENTS.

THAT THIS CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY SURVEYED AND
DESCRIBED, AND THE DIVISION OF IT. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE
WISCONSIN STATUTES, A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE, AND THE SUBDIVISION REGULATIONS OF THE CITY OF
EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN IN SURVEYING AND MAPPING THE SAME.

 DATED THIS 23rd DAY OF July, 2024
PETER J. GARTMANN, P.L.S. NO. 2279

CERTIFICATE OF CITY DEPARTMENT OF COMMUNITY DEVELOPMENT:

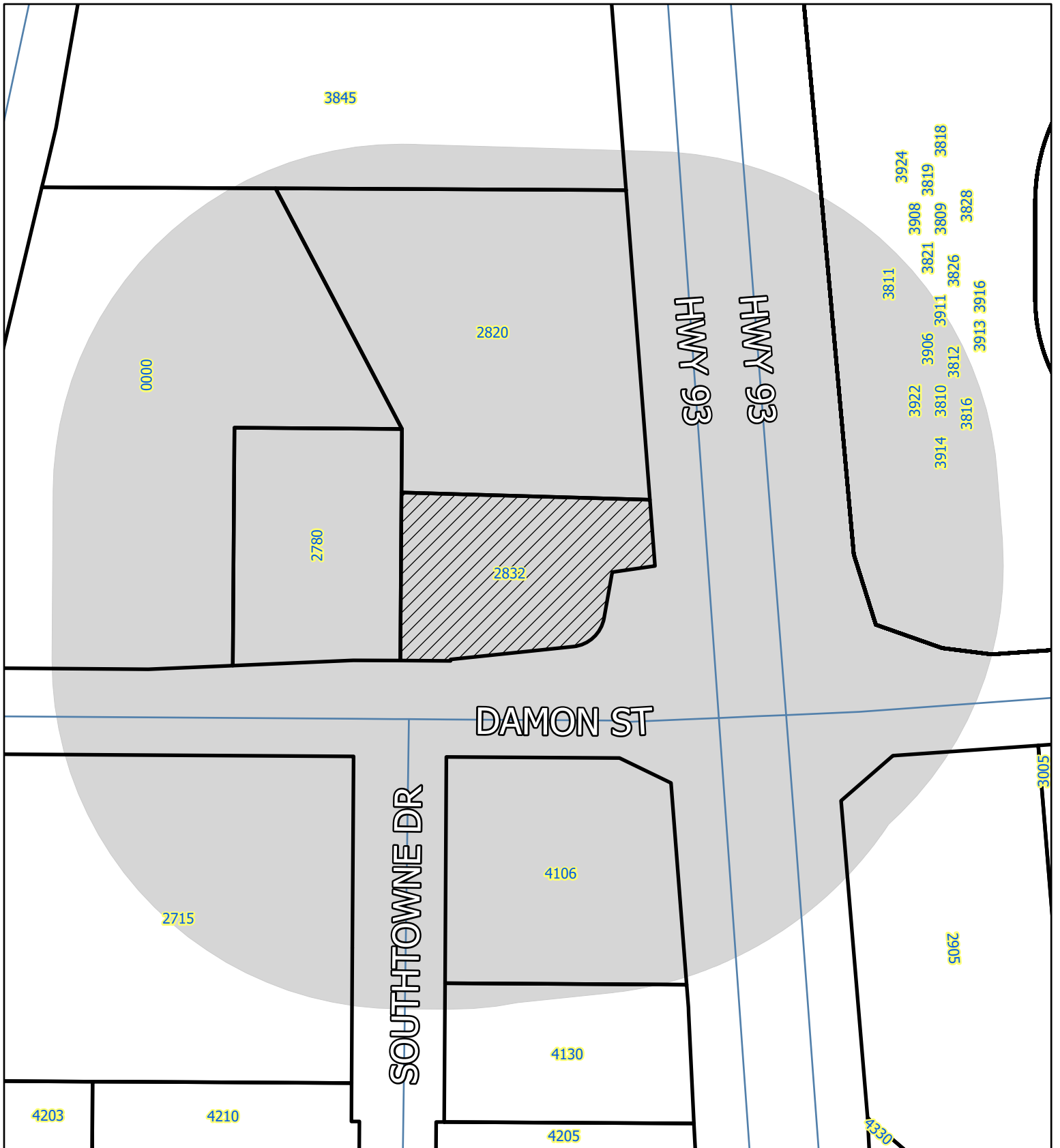
I, ARRON J. WHITE, DIRECTOR OF COMMUNITY DEVELOPMENT, CITY OF EAU CLAIRE, HEREBY CERTIFY THAT THIS
CERTIFIED SURVEY MAP IS APPROVED OF AS COMPLYING WITH TITLE 17, THE SUBDIVISION ORDINANCE, OF THE MUNICIPAL
CODE OF THE CITY OF EAU CLAIRE.

 DATED THIS 23rd DAY OF July, 2024
ARRON J. WHITE - DIRECTOR COMMUNITY DEVELOPMENT

Owner:

LARSCO LLC., / Dean C. Larsen
3610 Oakwood Hills Parkway #3
Eau Claire, WI 54701

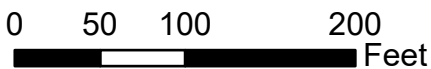


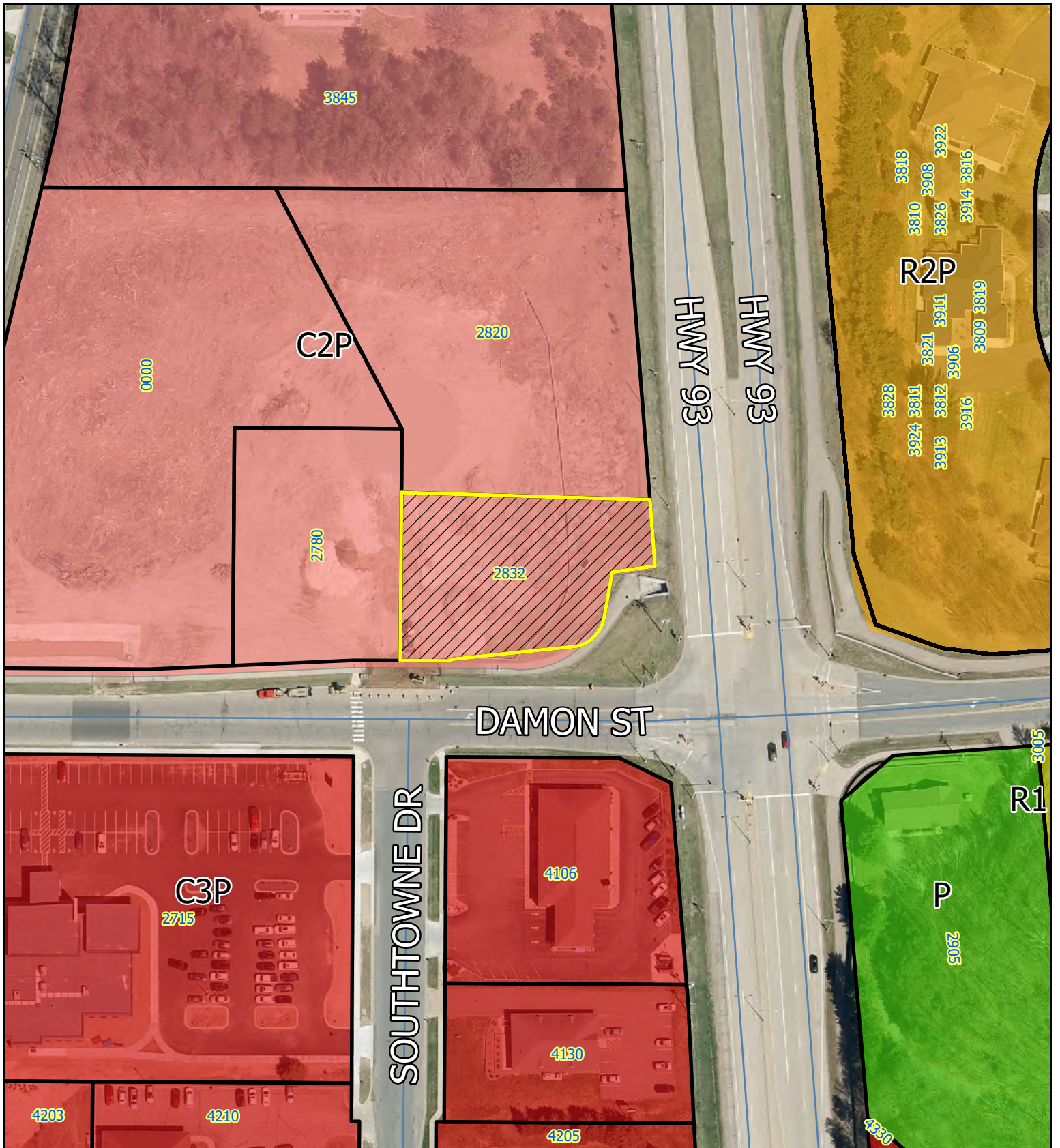


Notification Map
 Agenda Item: Z-744-89 Amd & SP-2414
 Address: 2832 Damon Street



 Subject Property
 Notification Area





DAMON ST

SOUTHTOWNE DR

HWY 93

HWY 93

R2P

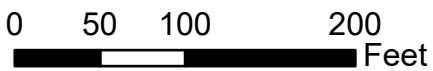
R1

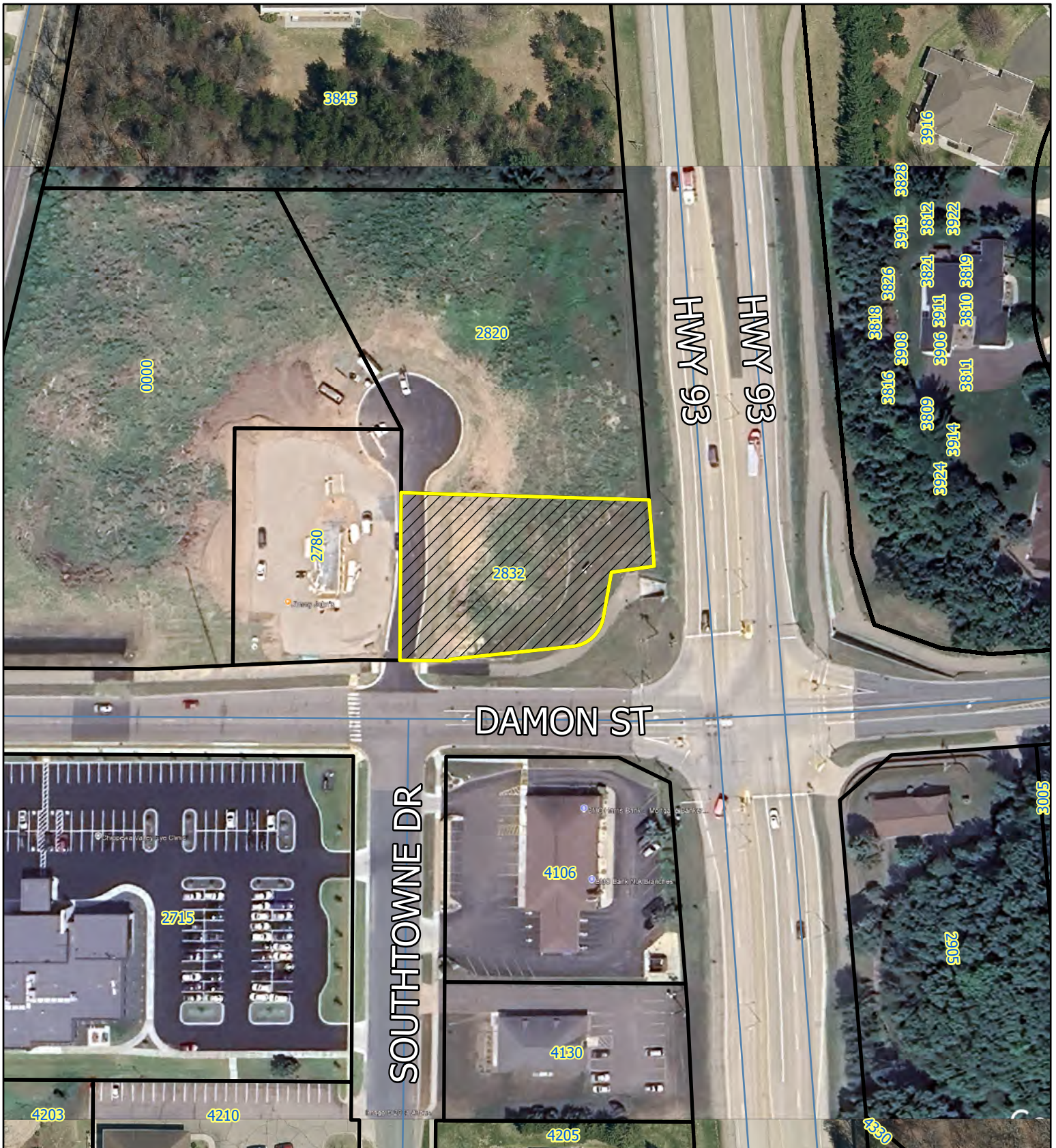
P



Zoning Map
 Agenda Item: Z-744-89 Amd & SP-2414
 Address: 2832 Damon Street

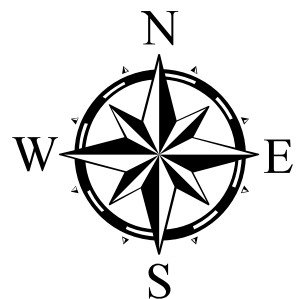
 Subject Property





Aerial Map
 Agenda Item: Z-744-89 Amd & SP-2414
 Address: 2832 Damon Street

 Subject Property



PUBLIC DISCUSSION

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, November 25, 2024

Agenda Item: Public discussion on an ordinance amending Chapter 10.48 entitled "Truck Traffic Regulations" of the Code of Ordinances of the City of Eau Claire limiting thru truck traffic on Sheridan Road.

SUMMARY / BACKGROUND
<p>The proposed addition would allow permanent signage installation to restrict semi traffic on Sheridan Road, N. Eddy Street, N. Dewey Street, and Birch Street enroute to or from the local industrial area. The posted restriction would limit the semi traffic movements traveling through the residential neighborhood between Birch Street and the industrial area. Access to the industrial area can be obtained using Forest Street. Additionally, this supports the already load-posted restriction at the Eddy Street railroad bridge.</p> <p>City Engineering and Police Department staff support this amendment.</p>

ACTION / ATTACHMENTS
<p>Action: Public Discussion</p> <p>Attachments: Ordinance Map</p>

ORDINANCE

ORDINANCE AMENDING CHAPTER 10.48 ENTITLED “TRUCK TRAFFIC REGULATIONS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE LIMITING THRU TRUCK TRAFFIC ON SHERIDAN ROAD.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Section 10.48.020 entitled “Thru Truck Traffic Limited” of Chapter 10.48, “Truck Traffic Regulations” is hereby amended as follows:*

10.48.020 Thru truck traffic limited.

C. The following streets shall be designated “NO THRU TRUCKS” and the director of engineering or the director of community services or their designee is authorized and directed to cause the appropriate signs to be erected giving notice thereof:

1. Carson Park Drive, from Menomonie Street to W. Grand Avenue;
2. Lake Street, from W. Grand Avenue to Fifth Avenue;
3. Ferry Street, from Short Street to Menomonie Street;
4. London Road, from Cross Street to South end;
5. Sheridan Road, N. Eddy Street, N. Dewey Street, Birch Street, from Forest

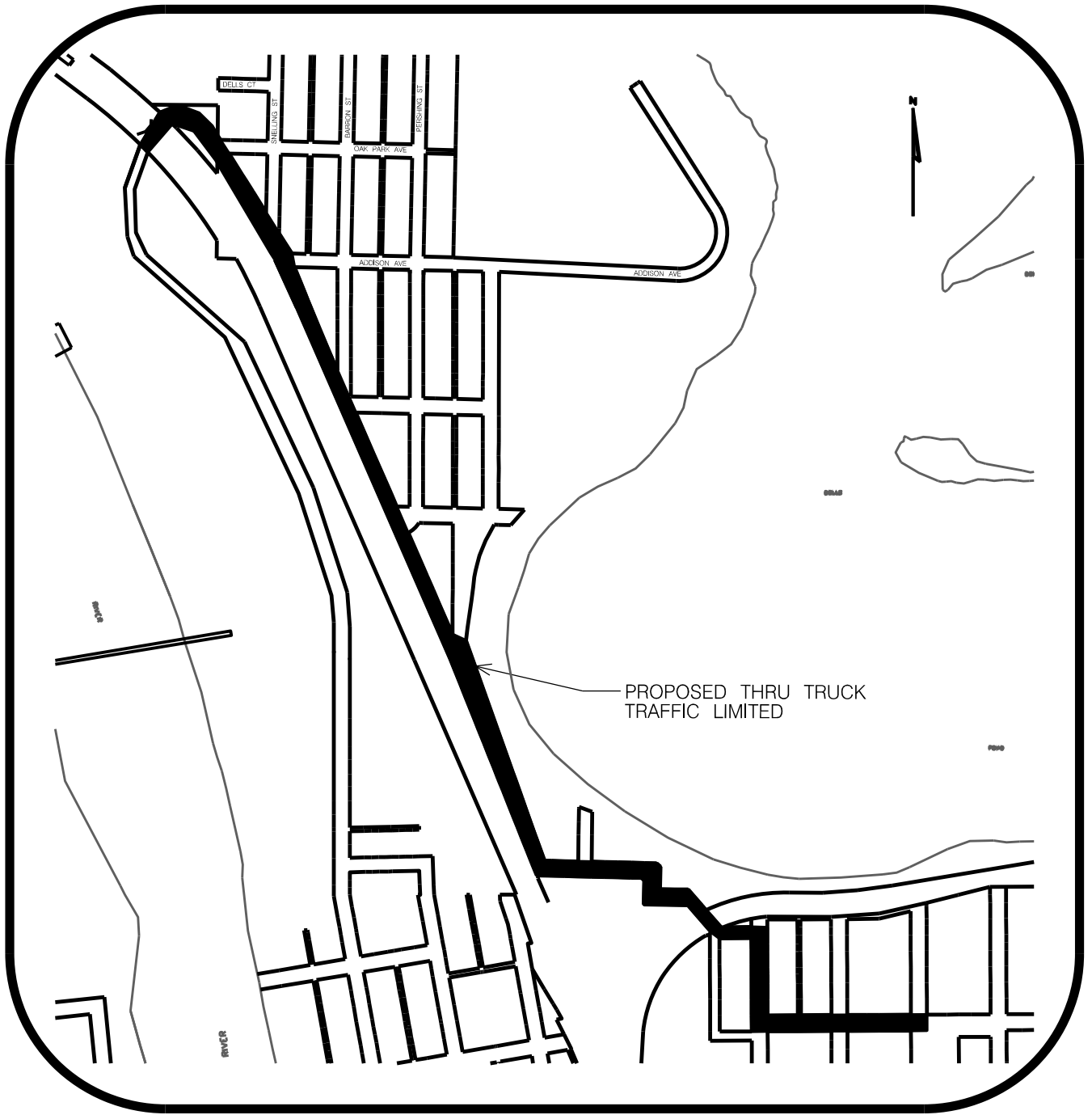
Street railroad overpass to Germania Street.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published



TRUCK TRAFFIC REGULATIONS
 THRU TRUCK TRAFFIC LIMITED

SHERIDAN ROAD, N. EDDY STREET, N. DEWEY STREET,
 BIRCH STREET, FROM FOREST STREET RAILROAD
 OVERPASS TO GERMANIA STREET

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, November 25, 2024

Agenda Item: Public discussion on an ordinance amending Chapter 13.10 entitled “Street Excavations and Openings” of the Code of Ordinances of the City of Eau Claire adjusting guarantee amount.

SUMMARY / BACKGROUND
<p>Proposed changes to the Street Excavations and Openings ordinance include:</p> <ul style="list-style-type: none"> • a \$5,000 increase in the bond or security amount required from the contractor prior to the start of a street excavation and opening job. • a change in language to clarify costs the contractor would be responsible for, in the event that the City finishes a project due to non-performance. <p>City staff recommends the proposed changes to better protect the City from financial loss due to the non-performance of a permit holder.</p>

ACTION / ATTACHMENTS
<p>Action: Public Discussion</p> <p>Attachments: Ordinance</p>

ORDINANCE

ORDINANCE AMENDING CHAPTER 13.10 ENTITLED “STREET EXCAVATIONS AND OPENINGS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE ADJUSTING GUARANTEE AMOUNT.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Section 13.10.040 entitled “Bond” of Chapter 13.10, “Street Excavations and Openings” is hereby amended as follows:*

13.10.040 Bond. Before the issuance of a permit under section 13.10.020, the applicant shall execute and file with the city clerk and keep in effect a corporate surety bond or security deposit in the minimum sum of ~~five thousand dollars (\$5,000)~~ ten thousand dollars (\$10,000) conditioned upon the timely and faithful performance of all requirements and conditions of this chapter and of any permit issued to the applicant. Such bond shall also guarantee that if the city has to make the repairs, applicant shall pay all costs of making such repair and maintaining the same two (2) years. ~~The effective period of the bond or security shall be a minimum of two years.~~

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, November 25, 2024

Agenda Item: Public discussion on an amending Chapter 1.04 entitled “Definitions” of the Code of Ordinances of the City of Eau Claire adding to parking restrictions, June 19.

SUMMARY / BACKGROUND
<p>The proposed addition to Chapter 1.04 is meant to declare June 19 as a parking holiday, which is a result of the federal holiday declaration.</p>

ACTION / ATTACHMENTS
<p>Action: Public Discussion</p> <p>Attachments: Ordinance</p>

ORDINANCE

ORDINANCE AMENDING CHAPTER 1.04 ENTITLED “DEFINITIONS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE ADDING TO PARKING RESTRICTIONS, JUNE 19.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Section 1.04.010 entitled “Definitions” of Chapter 1.04, “General Provisions” is hereby amended as follows:*

1.04.010 Definitions.

Dm. “Holiday” means the following days: January 1; the last Monday in May; July 4; the first Monday in September; the 4th Thursday in November; December 25; and December 31. For the exclusive purpose of enforcement of parking restrictions, “holiday” shall also mean the following days: the third Monday in January; the third Monday in February; June 19; the second Monday in October; November 11; and December 24.

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

CITY COUNCIL

AGENDA ITEM COVER SHEET

Meeting Date: Monday, November 25, 2024

Agenda Item: Public discussion on an ordinance amending Table III entitled "Stop Intersections" of the Code of Ordinances of the City of Eau Claire at various downtown intersections.

SUMMARY / BACKGROUND
<p>The proposed additions to stop intersections in Table III of the Code of Ordinances reflect the request for stop signs in all directions at the following intersections:</p> <ul style="list-style-type: none"> • Wisconsin Street and North Barstow Street • Galloway Street and North Barstow Street <p>The intersections were two-way stop-controlled intersections with traffic stopping on Galloway Street and Wisconsin Street previously. City staff evaluated the intersections and validated the temporary need for additional stop sign installation during construction along North Barstow Street, which started in 2023 and came to completion in 2024.</p> <p>Approval of this change would allow for permanent signage installation at the intersections of Wisconsin Street and Galloway Street with North Barstow Street, to make both intersections operate using all-way stop control.</p> <p>City Engineering and Police Department staff support this amendment.</p>

ACTION / ATTACHMENTS
<p>Action: Public Discussion</p> <p>Attachments: Ordinance</p>

ORDINANCE

ORDINANCE AMENDING TABLE III ENTITLED “STOP INTERSECTIONS” OF THE CODE OF ORDINANCES OF THE CITY OF EAU CLAIRE AT VARIOUS DOWNTOWN INTERSECTIONS.

THE CITY COUNCIL OF THE CITY OF EAU CLAIRE DOES ORDAIN AS FOLLOWS:

SECTION 1. *Table III entitled “Stop Intersections” is hereby amended as follows:*

Stop intersections. All vehicles shall stop behind the crosswalk at the intersection of the following named streets when proceeding as indicated:

- Galloway Street and North Barstow Street, when entering from the east and west;
- North Barstow Street and Galloway Street, when entering from the north and south;
- North Barstow Street and Wisconsin Street, when entering from the north and south;
- Wisconsin Street and Galloway Street, when entering from east and west;

(SEAL) _____
President Emily K. Berge

(SEAL) _____
City Manager Stephanie A. Hirsch

(ATTESTED) _____
City Clerk Kristina M. Kuzma

First Reading
Final Reading
Adopted
Published

CLOSED SESSION

MEMORANDUM

DEPARTMENT OF HUMAN RESOURCES

TO: City Manager
FROM: Director of Human Resources
DATE: November 20, 2024
SUBJECT: Closed Session Item for the City Council Meeting of
Monday, November 25, 2024

Item: To conduct the six-month performance evaluation process of the City Manager, an employee over whom the City Council exercises responsibility, which is permitted in closed session pursuant to s. 19.85(1)(c) of the Wisconsin Statutes.

Justification: This matter involves discussion of performance evaluation data, compensation and performance objectives regarding the City Manager, an employee over whom the City Council exercises responsibility, which is permitted in closed session pursuant to s. 19.85(1)(c) of the Wisconsin Statutes.

Description: The purpose is to discuss employee evaluation process and data, compensation and performance objective matters.

City Attorney Approval: _____



Date: _____

11/20/24