



---

**Waterways and Parks Commission  
Agenda  
December 2, 2020**

---

**PLEASE TAKE NOTICE** that there will be a meeting of the City Waterways and Parks Commission on Wednesday, December 2, 2020 at 7:00 p.m. The meeting will be held at City Hall Chambers via remote access only on the following agenda items:

- 1. Call to Order**
- 2. Roll Call**
- 3. Reading and approval of minutes of the past meeting, September 23, 2020**
- 4. Open Public Comment Period for Items that do not appear on this Agenda.**
- 6. Other Business Agenda items**
  - a. Recommendation to allow a variance for a proposed single-family home that would be approximately 12-foot setback from the top of bank of the Chippewa River instead of the code required 40-foot and a proposed detached garage at approximately 10-foot setback from the top of bank located at 5503 South Shorewood Drive. (Ryan Petrie)
  - b. Discussion regarding 5-year Comprehensive Plan update. (Ryan Petrie)
  - c. Recommendation to amend the McDonough Park conceptual plan. (Steve Plaza)
  - d. Recommendation to approve LE Phillips Memorial Public Library's installation of Storybook Walks at Owen Park and Carson Park. (Steve Plaza)
  - e. 2021 Waterways and Parks Calendar (Information only)
  - f. 2020 Special Events list (Information only)
  - g. Director's Report (Information only)
- 7. Discussion and Direction**
  - a. Future Agenda Items
  - b. Announcements
- 8. Adjournment**

---

Joshua Miller, Chairperson  
c: News Media

---

*Any person who has a qualifying disability as defined by the Americans With Disabilities Act that requires the meeting or materials at the meeting to be in accessible location or format must contact the ADA Coordinator for the City of Eau Claire, at 839-4921 or at 203 South Farwell Street by 2:00 PM the Monday prior to the meeting so that any necessary arrangements can be made to accommodate each request."*

---

# Waterways and Parks Commission

## Meeting Minutes

### September 23, 2020

Meeting started at 7:01

Audio problems from 7:01 to 7:12

Call to Order at 7:12

Members present virtually Ellen Faulkner, Jenni Sterling, Jessica Schoen, John Bodkin, Kirk Dahl

Minutes of July 22 2020 meeting

No additions or deletions.

John Bodkin moved to approve. Ellen Faulkner Seconded.

Approved.

Public Comment Period

No in-person comments

No call in or virtual comments

Prairie Heights Development

Scott Allen Presented Material and Maps

Schedule includes Plan Commission in October.

Paul Gerrard called in

Thanked Scott Allen, offered to answer any questions

Noted 20% reduction in density and footprint.

Reduced parking area added area for storm water collection

Noted the driveway for underground parking

WWP Chair asked for profile view of building, elevation view. It is on page A4

Paul Gerrard noted it was a reduced version of last year.

WWP Chair asked about elevations of Retail Building

Paul Gerrard said they are being worked on.

Would be available for Plan Commission

John Bodkin Moved for recommendation of approval. John Lor seconds. Approved

Unanimously

Veterans Park Trails

Steve Plaza gave presentation on Veterans Park.

Original Plan was to install just a sign. Survey said N.A.

Neighborhood Association requested to develop trails.

Brad from N.A. had no additional details to add.

Chair and Commission had Questions

Jessica Schoen – How do pedestrians cross stream.

S.P. – Small stream, can cross now. No bridge required.

Brad – area floods. Stream not difficult to cross.

Jessica Schoen – What does trail look like?

Brad – No fill. Move logs. Keep natural. Approx. 2' wide.

S.P. – More of a footpath than a trail.

Chair – What is the definition of a footpath

S.P. – Natural ground with vegetation removed

Jenni Sterling – Long Term Ideas?

S.P. – Police are aware of camping currently. Hopeful trails will reduce camping and vandalism.

Jessica Schoen – Mentioned concerns of crossing at waterfall

JB moved for recommendation of approval. J Schoen seconded. Approved Unanimously

Special Events

Dave Reviewed Special Events

Possible Carson Park Drive-In Movie

Jessica Schoen – What is used for the screen.

D.S. – Unsure but could check

Dave read Directors Report

Meeting Adjourned 8:23pm



## Staff Report

---

To: Waterways and Parks Commission      Hearing Dates:  
Waterways and Parks Commission: 12/2/20,  
7 p.m. City Hall, Council Chambers

From: Community Development

File No.: ZBA-01-2020      Zoning Board of Appeals: 12/8/20, 7 p.m.

---

Agenda Item:      A recommendation on a variance to allow a proposed single-family home that would be at approximately 12-foot setback from the top of the bank of the Chippewa River instead of the code required 40-foot and a proposed detached garage at approximately 10-foot setback from the top of the bank located at 5503 South Shorewood Drive.

Applicant: Dan Chase

Area: +/- 1.9 acres

Surrounding Land Use:    North: Residential Single-Family Homes  
East: Chippewa River  
South: Residential Single-Family Homes  
West: Residential Single-Family Homes

Existing Zoning: R-1A

Proposed Zoning: Same

Existing Land Use: Vacant

Proposed Land Use: Single Family Home

Analysis: Mr. Dan Chase is requesting a variance to allow a proposed single-family home that would be at approximately 12-foot setback from the top of the bank of the Chippewa River instead of the required 40-foot and a proposed detached garage at approximately 10-foot setback from the top of the bank located at 5503 South Shorewood Drive. The Development Guidelines for Waterways and Greenway Areas (attached) state that the setback should be 40 from the top of the river bank unless a variance is approved.

Attached is the site plan showing the proposed single-family home and the proposed detached garage along with building elevations and narrative provided by the applicant. The proposed screened porch is the closest to the top of the bank of approximately 12 feet and the rest of the home is approximately 28 feet from the top of the bank. The Ordinary High Water Mark (OHWM) is near the river's edge which is approximately 130 feet from the proposed home. The parcel is approximately 1.9 acres in size with about 0.6 acres of buildable area.

The information provided by Mr. Chase notes that the intent of building their retirement home and notes the uniqueness topology that includes several connecting ravines, ridges to a lower level area including a sand beach area and a large lagoon. Also, noted that the topology of the lot significantly reduces building site location options without significant and expensive modifications. This non-standard city lot contains many mature trees, including Maples, Oaks and White Pines with the occasional Hickory and Butternut mixed in. The applicant notes, the proposed home location was selected to minimize tree removal or extensive and expensive landscaping by using the existing driveway onto the property.

The existing home to the north is at a setback of approximately 40 feet from the top of the bank and the under-construction home to the south is at a setback of approximately 40 feet from the top of the bank. The ridge of the top of the bank for both lots is less than Mr. Chase's property as shown on the contour map. Both homes are approximately 75 feet from the river's edge or OHWM. As noted above, this proposed home is approximately 130 feet from the river's edge or OHWM.

The recommendation of the Waterways and Parks Commission will be forwarded to the Zoning Board of Appeals that will consider this variance on December 8, 2020.



CITY OF EAU CLAIRE, WISCONSIN  
BOARD OF ZONING APPEALS

VARIANCE OR APPEAL

Appeal No. \_\_\_\_\_

Date File \_\_\_\_\_

Date of Notice \_\_\_\_\_

**TO BE COMPLETED BY THE APPELLANT**

**Appellant:** Daniel G. Chase      **Address:** 2621 Panorama Drive; Menomonie, WI 54751 \_\_\_\_\_

**Email address:** dchase@wwt.net      **Phone:** 651.261.49554

**Owner:** Daniel G. Chase      **Address:** 2621 Panorama Drive; Menomonie, WI 54751      **Phone:** 651.261.4955

**Location of Property:** 5503 S. Shorewood Drive; Eau Claire WI 54703

**Address; Lot #, Block #, & Subdivision; Parcel #**

**This variance or appeal is to allow:**      Building of the owners permanent retirement home.

The variances to be a modification of the 75' setback of the house and the building of an accessory 1200 sq. ft. garage taller than 18'.

**It is your responsibility to prove to the Board of Zoning Appeals that your variance or appeal should be granted on the basis of how it applies to the requirements given below. Please be specific. If you need additional space, you may use another sheet of paper.**

**APPLICABLE TO A VARIANCE REQUEST ONLY**

- 1) **Are there unique circumstances (such as topographical problems) about the land itself or special conditions applicable to your property or to the intended use that do not apply generally to the other property in the same vicinity and zoning district?** The nearly 2 acre lot is not a typical city lot and consists of multiple topographical "features", including a lagoon, ridges, slopes and ravines that make it a unique property that when combined with the mature trees and fruited shrubbery provide a property with significant character. Although the lot is large, it has several connecting ravines that limit building site locations without additional site preparation costs. Additionally, the lot has a significant lagoon off the Chippewa River further limiting building sites. Finally, the lot has a numerous mature trees that we are attempting to save with the proposed combination of house and existing driveway location. The proposed house and septic location is >128' from the main channel of the Chippewa River (further back than the being built adjacent house) but is estimated to be 55' from the lagoon. The accessory garage is sized to allow on~premise storage and repair of my motor home, pontoon & other recreational vehicles.
- 2) **Strict application of the Zoning Ordinance would constitute unnecessary hardship or practical difficulty to you because:** Additional costs incurred due to off site storage and repair of motor home, pontoon, and other recreational vehicles. Optionally, the costs incurred for additional site preparation; which would also deter from the existing character of the property. Loss of mature trees due to relocation of current driveway.
- 3) **The variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity, but which is denied to your property because:** We are looking to build our retirement home on a very unique property that we want to impact as minimally as possible yet enjoy the views, ambiance, privacy and topologies the lot currently offers.

- 4) **The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity or zone in which your property is located**  
**because:** The property is nearly 2 acres in size and currently well wooded. The currently proposed building locations are significantly setback from S. Shorewood Drive as well as the main channel of the Chippewa River. Contrarily, we are attempting to maintain the existing nature of the lot. Neighboring lots (due to lot size have been clear cut changing the uniqueness of the area.
  
- 5) **Other reasons that you may have which are similar to those above:** We are attempting to maintain the current uniqueness of this minimally disturbed wilderness river area and lot by maintaining the existing topology, mature trees and wildlife habitat (Otters, owls, eagles, woodpeckers, etc.). The Chase family was the first year-round family to live on this street (1970) and we would like to enjoy the Chippewa River and all it has to offer.

**APPLICABLE TO AN APPEAL REQUEST ONLY**

**State the alleged error in any order, requirement, decision or determination made by the Zoning Administrator in the enforcement or administration of Wisconsin Statutes S.62.23 or the Zoning Code.**

---



---



---

*"I hereby certify that the above statements and plans submitted herewith are true to the best of my knowledge. A \$500 fee has been deposited with the City Treasurer. I also hereby permit the City to enter upon the property for the placement and removal of a Hearing Notice sign on the property and shall maintain the sign where posted on the property during the pendency of this application."*

9/16/2020  
Date

*Daniel H. Chase / Linda M. Chase*  
Signature of Appellant

\*\*\*\*\*

**TO BE COMPLETED BY THE ZONING ADMINISTRATOR**

**This request for variance or appeal is in conflict with the following provision(s) of the Zoning Ordinance:**

---



---

\_\_\_\_\_  
Date

\_\_\_\_\_  
Zoning Administrator

**CITY OF EAU CLAIRE  
VARIANCE/APPEAL PROCEDURE**

**Application**

<https://www.eauclairewi.gov/services/on-line-forms-brochures>

- 1) It is advisable to discuss your variance or appeal with the Zoning Administrator, prior to making formal application. Contact the Zoning Administrator at 715-839-4914 or by visiting the Planning Department at City Hall, Monday through Friday, 8 a.m. to 5p.m. (appointments recommended).
- 2) Applications can be found online at <https://www.eauclairewi.gov/services/on-line-forms-brochures> or picked up at the Planning Department of City Hall.
- 3) Return the completed application form along with a check for \$500.00 payable to the City Treasurer. In most cases, a site plan will also be necessary which is drawn to scale and accurately dimensioned. Floor plans and building elevations may also be required. It is advisable to have the application and plans reviewed by the Zoning Administrator prior to making payment to the City Treasurer.
- 4) You will receive a mailed notice from the Department of Community Development, Planning Department giving the time and place of the public hearing at which your variance or appeal will be considered by the Board of Zoning Appeals. **(You must be present at such hearing – see #5 below)**.

**Variance or Appeal**

- 1) Upon filing a completed application with the Department of Community Development, arrangements will be made for the required public notice and date for a public hearing. The public hearing will be scheduled as soon as possible, but filing deadlines have been set in order to give city staff sufficient time to meet the legal requirements for issuing the public notice.
- 2) The application is reviewed and analyzed by various members of city staff. Any comments by staff will be read at the hearing. A Hearing Notice sign is also posted on the property.
- 3) The City mails notices of the upcoming public hearing to all owners and residents of properties within 300 feet of the subject property (in the case of a heavy industrial use, 500 feet of the subject property). Such notice indicates the time, place and character of the proposed hearing. Notices are also sent to the local newspaper as well as other public broadcasting facilities who generally announce the items on the upcoming hearing's agenda.
- 4) The Board of Zoning Appeals holds a public hearing and makes the final decision concerning the variance or appeal. These meetings are held on the first Tuesday of each month at 7:00 p.m. in the City Council Chambers, City Hall (unless otherwise noted on the agenda), or if a special meeting is scheduled.
- 5) **THE APPELLANT SHALL BE PRESENT AT THE PUBLIC HEARING EITHER IN PERSON OR BY COUNSEL OR AGENT AND PRESENT AT HIS/HER CASE TO THE BOARD OF ZONING APPEALS.**
- 6) A copy of the resolution of the final action of the Board will be transmitted to the appellant within 10 days after a decision has been reached by the Board.



Ryan Petrie  
Associate Planner  
City of Eau Claire  
715-839-4914

September 27, 2020

Ryan:

Per your email request dated 09/22/2020 I have created this narrative to describe our building plans for 5503 S. Shorewood Drive, Eau Claire, WI. In addition, below I have attached the Eau Claire City Application for Conditional Use Permit and Variance Forms originally submitted.

#### **Background:**

We have purchased the nearly 2 acre lot at 5503 S. Shorewood Drive in Eau Claire with the intent of building our retirement home and moving from our current location of 2621 Panorama Drive, Menomonie, WI. Additionally, we are selling our Long Lake home at N1114 Little Bear Road in Sarona Wisconsin.

I am familiar with this property as a result of my grandfather having built a cabin in 1959 at 5613 S. Shorewood Drive and our family spending summers on the Chippewa River. In 1970, our family winterized the cabin and moved to 5613 S. Shorewood Drive; being the first year-round residents on S. Shorewood Drive. We have remained connected to the area ever since. Upon my mother's passing in 2009 we purchased this property from her estate and continued to vacation there. I have since sold 5613 S. Shorewood Drive to my son. We have always enjoyed this area and all it has to offer and have made plans to continue our enjoyment in a more permanent way.

#### **Conditional Use Permit Application**

We are applying to build our permanent retirement "dream" home on the lot at 5503 S. Shorewood Drive that is zoned residential. The plans for this home (mid century modern style) have been previously submitted. Additionally, we are applying to build a 30' x 40' (Variance #1) storage shed that would have a maximum height of 24' (Variance #2), also previously submitted.

The lot at 5503 S. Shorewood Drive is not your typical Eau Claire city lot, being nearly 2 acres in size and having a very unique topology that includes several connecting ravines, ridges that descend to a lower level area with a sand beach, and a large lagoon. The topology of the lot significantly reduces building site location options without significant and expensive modifications. This non-standard city lot contains many mature trees, including Maples, Oaks, and White Pines with the occasional Hickory and Butternut mixed in. The proposed home location was selected to minimize tree removal or extensive and expensive landscaping by using an existing driveway. We are attempting to impact this unique area as minimally as possible. The size of the lot allows us to maintain some of the features inherent in the area, unlike some of the adjacent lots (85' wide and smaller) being developed that are being "clear cut" and/or being extensively excavated.

The proposed house location is set back 128' from the main river channel (see map below) and as a matter of fact is the entire length of the recently built adjacent house (66' – see map below) from the river. The proposed location however is ~ 55' (Variance #3) from the back water of the lagoon. The house is also being located far from neighboring houses and S. Shorewood Drive to preserve everyone's privacy.

#### **Variance Application**

We are applying to build our permanent retirement home at 5503 S. Shorewood Drive, but want to do it in such a manner as to minimize our impact on the area yet enjoy its uniqueness of topology (ravines, ridges and lagoon), wildlife (including eagles, owls and otters) and the Chippewa River fishery.

Variance #1: The current city zoning ordinance limits the size of attached and accessory buildings to 1500 square feet. We are requesting a variance to allow the building of a pole shed that is 1200 square feet (30' x 40') in addition to the attached garage. This will allow me to store and provide maintenance for our vehicles, including recreational items.

Variance #2: The current city zoning ordinance limits the height of accessory buildings (in this case the pole shed) to  $\leq 18'$  in height. The pole shed is designed to be a maximum of 24' tall to allow indoor parking and maintenance of our motor home, pontoon and other personal equipment.

Variance #3: Setback from the rivers' high water mark is to be  $\geq 75'$ . The Chippewa River's high water mark is essentially the level of the river as there are fairly steep banks that rise to the previously discussed ridges. The proposed house location is  $\sim 55'$  back from the lagoon and 128' back from the main river channel. The proposed house location is approximately 12' back from the ridge to account for and mitigate erosion.

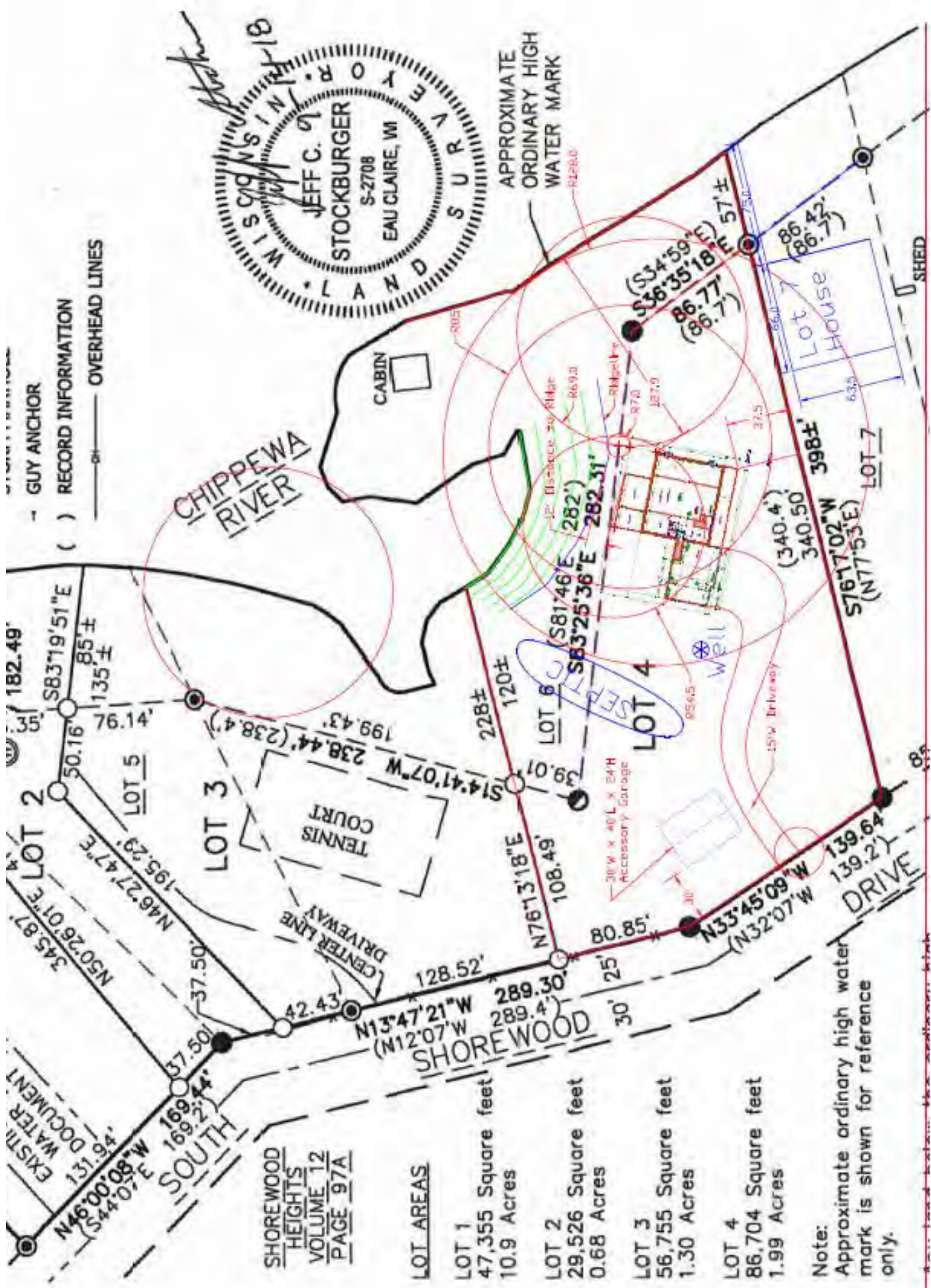
Our current plan for building is to break ground in the spring of 2021.

We thank you for consideration of our building plans and invite any questions you may have.

Kind regards,

Dan and Linda Chase  
2621 Panorama Drive  
Menomonie, WI 54751

651.261.4955





# Application for Conditional Use

For City Staff Use Only	
File No.	_____
Date Filed	_____
Appl. Review	_____
PC Action	_____
Date	_____

- Applicant's Name(s) Daniel G. Chase  
 Street/City/Zip 2621 Panorama Drive / Menomonie, WI / 54751  
 Phone # 651.261.4955 Email or Fax # dchase@wwt.net  
 Interest in Subject Property Owner
- Property Owner's Name(s) (See Item 1. Above)  
 Street/City/Zip \_\_\_\_\_  
 Phone # \_\_\_\_\_ Email or Fax # \_\_\_\_\_
- Address of Subject Property 5503 S. Shorewood Drive, Eau Claire, WI 54703
- Please provide legal description of subject property or attach one to the application  
 Lot(s) \_\_\_\_\_  
 Block(s) \_\_\_\_\_  
 Addition \_\_\_\_\_  
 Parcel #(s) \_\_\_\_\_
- The subject property is presently zoned Residential
- It is desired and requested\* that the following conditional use be permitted on the subject property  
 Building of our retirement home and accessory building.

pursuant to Section(s) \_\_\_\_\_  
of the General Ordinances of the City of Eau Claire.

- The existing use(s) of the subject property is (are) Recreational

\*NOTE: Depending on the nature of the request, the applicant may be required to submit copies of scaled drawings, site plans, or other appropriate information with this application.

For Treasury Use #2421

8. The reasons for wishing to use the subject property as proposed are as follows:

We are currently in the process of selling our lake home on Long Lake in Sarona, Wisconsin and want to build our permanent retirement home.

9. The existing use(s) of adjacent property is (are):

North Chippewa River  
East Single Family Residence  
South S. Shorewood Drive  
West Single Family Residence

10. The proposed time schedule for use of the subject property as requested above is:

Spring of 2021.

11. I (we), the undersigned, do hereby make application and petition the Plan Commission to approve the conditional use as requested above, and in support of this application present the above facts. I (we) also hereby permit the City to enter upon the property for the placement and removal of a Hearing Notice sign on the property and shall maintain the sign where posted on the property during the pendency of this application.

Submitted this 16<sup>th</sup> day of September, 2020

Signatures Daniel A. Chase 9/16/2020  
Jude Chase 9/16/20

**Note: Application filing fee is \$500 payable by check made out to the City of Eau Claire**

# Conditional Use Permit Procedures

## Application Procedure

1. It is advisable to discuss your proposal with a City Planner prior to making formal application. The City Planning staff may be reached at 715-839-4914 or by visiting the Department of Community Development on the ground floor, south wing of City Hall, 203 S. Farwell Street.
2. Applications are available from the City of Eau Claire, Department of Community Development, or at <http://www.eauclairewi.gov/government/on-line-forms-brochures>
3. Return the completed application form along with **one (1) set of 8 ½ x 11 plans and a PDF file to [Ryan.Petrie@eauclairewi.gov](mailto:Ryan.Petrie@eauclairewi.gov)** along with a check made payable to the City of Eau Claire (see application form for filing fee).
4. You will receive a mailed notice from the City giving the time/place of the public hearing at which your application will be considered by the City Plan Commission.

## Conditional Use Process

1. Upon filing a completed application with the Department of Community Development, the required public notices will be prepared and a date for a public hearing will be scheduled as soon as possible. Filing deadlines have been set in order to give the City sufficient time to meet the legal requirements for publishing public notices (attached).
2. The application is reviewed and analyzed by various members of City staff. A staff report is prepared for the Plan Commission hearing, which contains the staff's analysis and recommendation for the request. Applicant will be mailed a copy of this report about 3 days before the public hearing. A Hearing Notice sign is also posted on the property.
3. The City publishes an ad in the legal notices section of the local newspaper, which gives the legal description of the subject property and indicates the conditional use being requested. This ad is published twice, at least one week apart and at least one week prior to the Plan Commission's public hearing. A Hearing Notice sign is also posted on the property.
4. The City mails notices of the upcoming public hearing on the application to all owners of properties within 300 feet of the subject property (in the case of a heavy industrial use, 500' of the subject property).
5. The City Plan Commission holds a public hearing and makes the final decision on the proposed conditional use. These hearings are usually held on the first and third Monday of the month at 7:00 p.m. in the City Council Chambers, City Hall. The applicant is expected to attend the hearing and present his/her case to the City Plan Commission.
6. If the conditional use permit is granted, the applicant will receive a written permit within 10 days following the approval.

For further information, contact:

Ryan Petrie, Associate Planner  
City of Eau Claire  
203 S. Farwell Street  
Eau Claire, WI 54702-5148  
715-839-4914  
[Ryan.Petrie@eauclairewi.gov](mailto:Ryan.Petrie@eauclairewi.gov)



CITY OF EAU CLAIRE, WISCONSIN  
BOARD OF ZONING APPEALS

VARIANCE OR APPEAL

Appeal No. \_\_\_\_\_  
Date File \_\_\_\_\_  
Date of Notice \_\_\_\_\_

**TO BE COMPLETED BY THE APPELLANT**

**Appellant:** Daniel G. Chase    **Address:** 2621 Panorama Drive; Menomonie, WI 54751 \_\_\_\_\_

**Email address:** dchase@wwt.net    **Phone:** 651.261.49554

**Owner:** Daniel G. Chase    **Address:** 2621 Panorama Drive; Menomonie, WI 54751    **Phone:** 651.261.4955

**Location of Property:** 5503 S. Shorewood Drive; Eau Claire WI 54703

**Address; Lot #, Block #, & Subdivision; Parcel #**

**This variance or appeal is to allow:**    Building of the owners permanent retirement home.

The variances to be a modification of the 75' setback of the house and the building of an accessory 1200 sq. ft. garage taller than 18'.

**It is your responsibility to prove to the Board of Zoning Appeals that your variance or appeal should be granted on the basis of how it applies to the requirements given below. Please be specific. If you need additional space, you may use another sheet of paper.**

**APPLICABLE TO A VARIANCE REQUEST ONLY**

- 1) **Are there unique circumstances (such as topographical problems) about the land itself or special conditions applicable to your property or to the intended use that do not apply generally to the other property in the same vicinity and zoning district?** The nearly 2 acre lot is not a typical city lot and consists of multiple topographical "features", including a lagoon, ridges, slopes and ravines that make it a unique property that when combined with the mature trees and fruited shrubbery provide a property with significant character. Although the lot is large, it has several connecting ravines that limit building site locations without additional site preparation costs. Additionally, the lot has a significant lagoon off the Chippewa River further limiting building sites. Finally, the lot has a numerous mature trees that we are attempting to save with the proposed combination of house and existing driveway location. The proposed house and septic location is >128' from the main channel of the Chippewa River (further back than the being built adjacent house) but is estimated to be 55' from the lagoon. The accessory garage is sized to allow on-premise storage and repair of my motor home, pontoon & other recreational vehicles.
- 2) **Strict application of the Zoning Ordinance would constitute unnecessary hardship or practical difficulty to you because:** Additional costs incurred due to off site storage and repair of motor home, pontoon, and other recreational vehicles. Optionally, the costs incurred for additional site preparation; which would also deter from the existing character of the property. Loss of mature trees due to relocation of current driveway.
- 3) **The variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the same vicinity, but which is denied to your property because:** We are looking to build our retirement home on a very unique property that we want to impact as minimally as possible yet enjoy the views, ambiance, privacy and topologies the lot currently offers.

- 4) **The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such vicinity or zone in which your property is located because:** The property is nearly 2 acres in size and currently well wooded. The currently proposed building locations are significantly setback from S. Shorewood Drive as well as the main channel of the Chippewa River. Contrarily, we are attempting to maintain the existing nature of the lot. Neighboring lots (due to lot size have been clear cut changing the uniqueness of the area.
  
- 5) **Other reasons that you may have which are similar to those above:** We are attempting to maintain the current uniqueness of this minimally disturbed wilderness river area and lot by maintaining the existing topology, mature trees and wildlife habitat (Otters, owls, eagles, woodpeckers, etc.). The Chase family was the first year-round family to live on this street (1970) and we would like to enjoy the Chippewa River and all it has to offer.

**APPLICABLE TO AN APPEAL REQUEST ONLY**

**State the alleged error in any order, requirement, decision or determination made by the Zoning Administrator in the enforcement or administration of Wisconsin Statutes S.62.23 or the Zoning Code.**

---



---



---

*"I hereby certify that the above statements and plans submitted herewith are true to the best of my knowledge. A \$500 fee has been deposited with the City Treasurer. I also hereby permit the City to enter upon the property for the placement and removal of a Hearing Notice sign on the property and shall maintain the sign where posted on the property during the pendency of this application."*

9/16/2020  
Date

Samuel H. Chase / Linda M. Chase  
Signature of Appellant

\*\*\*\*\*

**TO BE COMPLETED BY THE ZONING ADMINISTRATOR**

**This request for variance or appeal is in conflict with the following provision(s) of the Zoning Ordinance:**

---



---

\_\_\_\_\_  
Date

\_\_\_\_\_  
Zoning Administrator



**CITY OF EAU CLAIRE  
VARIANCE/APPEAL PROCEDURE**

**Application**

<https://www.eauclairewi.gov/services/on-line-forms-brochures>

- 1) It is advisable to discuss your variance or appeal with the Zoning Administrator, prior to making formal application. Contact the Zoning Administrator at 715-839-4914 or by visiting the Planning Department at City Hall, Monday through Friday, 8 a.m. to 5p.m. (appointments recommended).
- 2) Applications can be found online at <https://www.eauclairewi.gov/services/on-line-forms-brochures> or picked up at the Planning Department of City Hall.
- 3) Return the completed application form along with a check for \$500.00 payable to the City Treasurer. In most cases, a site plan will also be necessary which is drawn to scale and accurately dimensioned. Floor plans and building elevations may also be required. It is advisable to have the application and plans reviewed by the Zoning Administrator prior to making payment to the City Treasurer.
- 4) You will receive a mailed notice from the Department of Community Development, Planning Department giving the time and place of the public hearing at which your variance or appeal will be considered by the Board of Zoning Appeals. **(You must be present at such hearing – see #5 below).**

**Variance or Appeal**

- 1) Upon filing a completed application with the Department of Community Development, arrangements will be made for the required public notice and date for a public hearing. The public hearing will be scheduled as soon as possible, but filing deadlines have been set in order to give city staff sufficient time to meet the legal requirements for issuing the public notice.
- 2) The application is reviewed and analyzed by various members of city staff. Any comments by staff will be read at the hearing. A Hearing Notice sign is also posted on the property.
- 3) The City mails notices of the upcoming public hearing to all owners and residents of properties within 300 feet of the subject property (in the case of a heavy industrial use, 500 feet of the subject property). Such notice indicates the time, place and character of the proposed hearing. Notices are also sent to the local newspaper as well as other public broadcasting facilities who generally announce the items on the upcoming hearing's agenda.
- 4) The Board of Zoning Appeals holds a public hearing and makes the final decision concerning the variance or appeal. These meetings are held on the first Tuesday of each month at 7:00 p.m. in the City Council Chambers, City Hall (unless otherwise noted on the agenda), or if a special meeting is scheduled.
- 5) **THE APPELLANT SHALL BE PRESENT AT THE PUBLIC HEARING EITHER IN PERSON OR BY COUNSEL OR AGENT AND PRESENT AT HIS/HER CASE TO THE BOARD OF ZONING APPEALS.**
- 6) A copy of the resolution of the final action of the Board will be transmitted to the appellant within 10 days after a decision has been reached by the Board.

\*\*\*COPYRIGHT NOTICE\*\*\*  
These drawings are the property of ProBuild/BFS.  
They may not be reproduced, redrawn, or used  
for construction purposes without written permission  
from ProBuild/BFS per Federal Copyright Laws.  
Unauthorized use may result in copyright infringement  
damages.

\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*  
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

**IMPORTANT**  
\* These drawings are not produced by an Architect or Engineering firm. Before construction customer should consult a contractor or architect to determine if these drawings need to be changed to satisfy: 1) state or local building code/regulations, 2) the project structural requirements, or 3) existing conditions specific to the site.  
ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or omissions of the drawings.

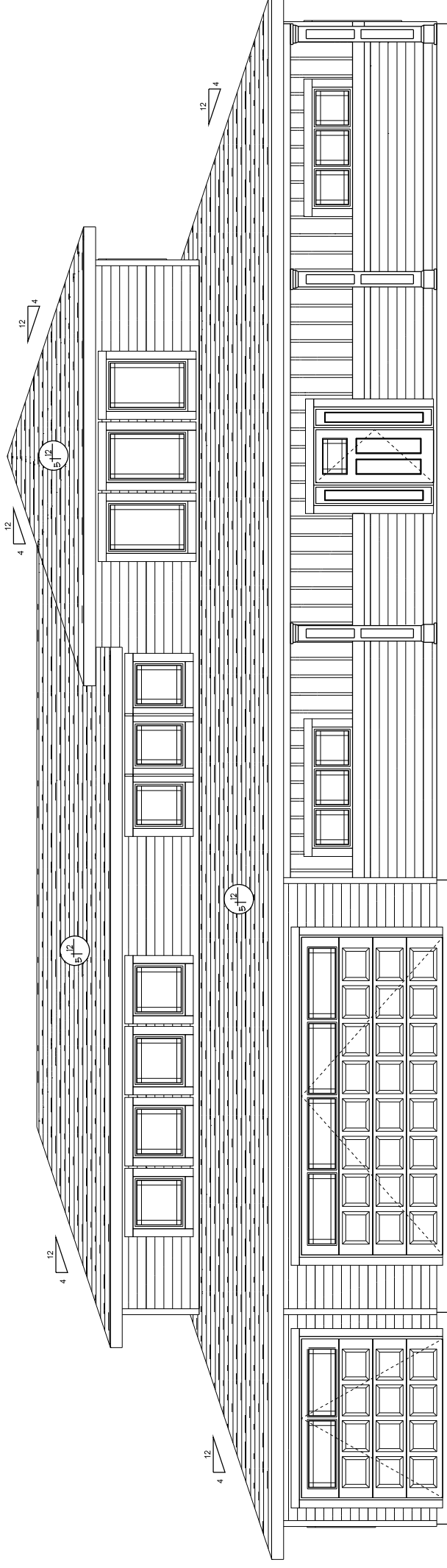
Sales Rep: Steve "Shooter" Schutte  
steve.schutte@bldr.com  
Design By: Shawna Athearn  
shawna.athearn@bldr.com

Project # 20-002  
Start Date: 02-19-20  
Revisions: 03-31-20  
04-28-20

HOFFMAN HOMES  
Dan & Linda Chase Residence  
Eau Claire, WI

421 Oak Avenue Menomonie, WI 54751  
p: (715) 235-3491 f: (715) 235-5059  
**Builders**  
FirstSource

PAGE  
A1



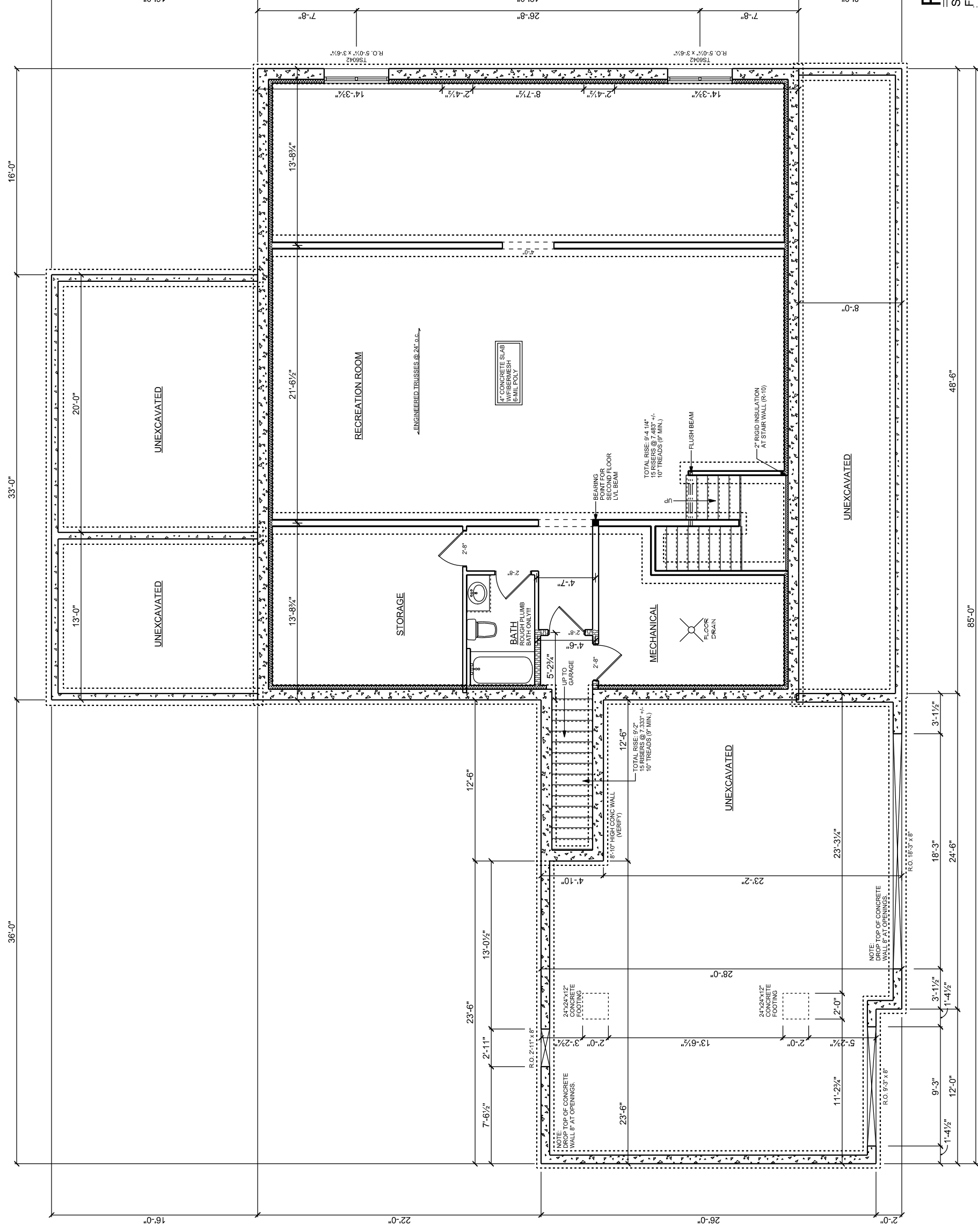
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*  
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER**

**\*\*\*COPYRIGHT NOTICE\*\*\***  
These drawings are the property of Prohibit/BFS. They may not be reproduced, redrawn, or used for construction purposes without written permission from Prohibit/BFS per Federal Copyright Laws. Unauthorized use may result in copyright infringement damages.

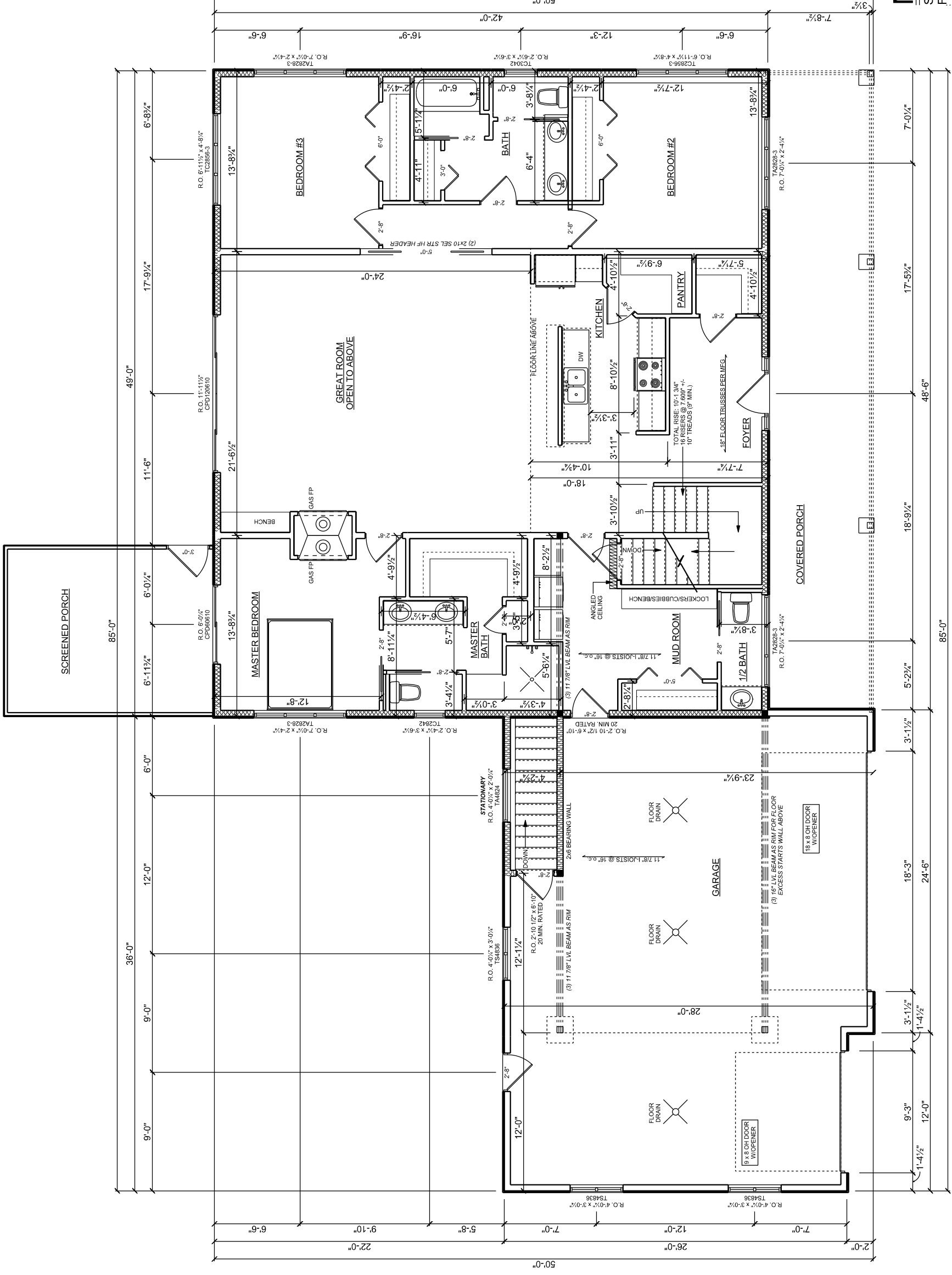
**NOTE:**  
UNLESS OTHERWISE NOTED  
4/12, 5/12, & 6/12 = 24" OH AT EAVES  
7/12 & 8/12 PITCH = 18" OH AT EAVES  
9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES  
12" OH TYPICAL AT GABLES  
TRUSS MANUF. TO ADJUST HEEL HEIGHTS  
ACCORDINGLY TO ALIGN FASCIAS



\*\*\*COPYRIGHT NOTICE\*\*\*  
 These drawings are the property of ProBuild/BFS. They may not be reproduced, redrawn, or used for construction purposes without written permission from ProBuild/BFS per Federal Copyright Laws. Unauthorized use may result in copyright infringement damages.

\*\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*\*  
 SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

NOTE:  
 UNLESS OTHERWISE NOTED  
 4/12, 5/12, & 6/12 = 24" OH AT EAVES  
 7/12 & 8/12 PITCH = 18" OH AT EAVES  
 9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES  
 12" OH TYPICAL AT GABLES  
 TRUSS MANUF. TO ADJUST HEEL HEIGHTS  
 ACCORDINGLY TO ALIGN FASCIAS



# MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"  
 FINISH S.F. = 2058

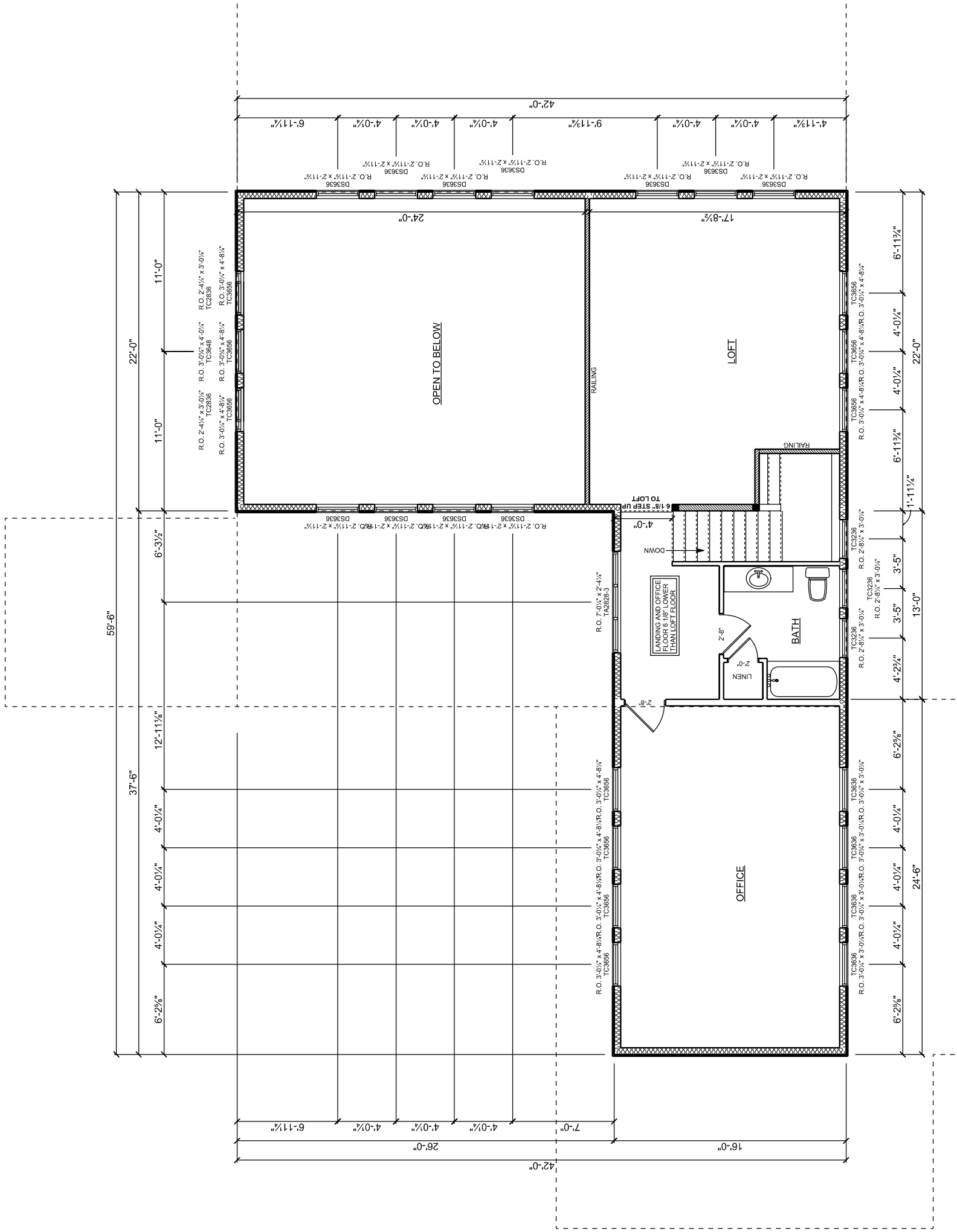
**IMPORTANT**  
 These drawings may need to be adapted to your specific site and project.  
 \* Check with local building officials about permits and local building codes.  
 \* These general drawings are not produced by an Architect or Engineering firm. Before construction customer should consult a contractor.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or delays of the drawings.

\*\*\*COPYRIGHT NOTICE\*\*\*

These drawings are the property of ProBuild/BFS. They may not be reproduced, redrawn, or used for construction purposes without written permission from ProBuild/BFS per Federal Copyright Laws. Unauthorized use may result in copyright infringement damages.

\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*  
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

NOTE:  
UNLESS OTHERWISE NOTED  
4/12, 5/12, & 6/12 = 24" OH AT EAVES  
7/12 & 8/12 PITCH = 18" OH AT EAVES  
9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES  
12" OH TYPICAL AT GABLES  
TRUSS MANUF. TO ADJUST HEEL HEIGHTS  
ACCORDINGLY TO ALIGN FASCIAS



## 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"  
FINISH S.F. = 996

Check with local building officials about permits and local building codes.  
These drawings may need to be adapted to your specific site and project.  
IMPORTANT

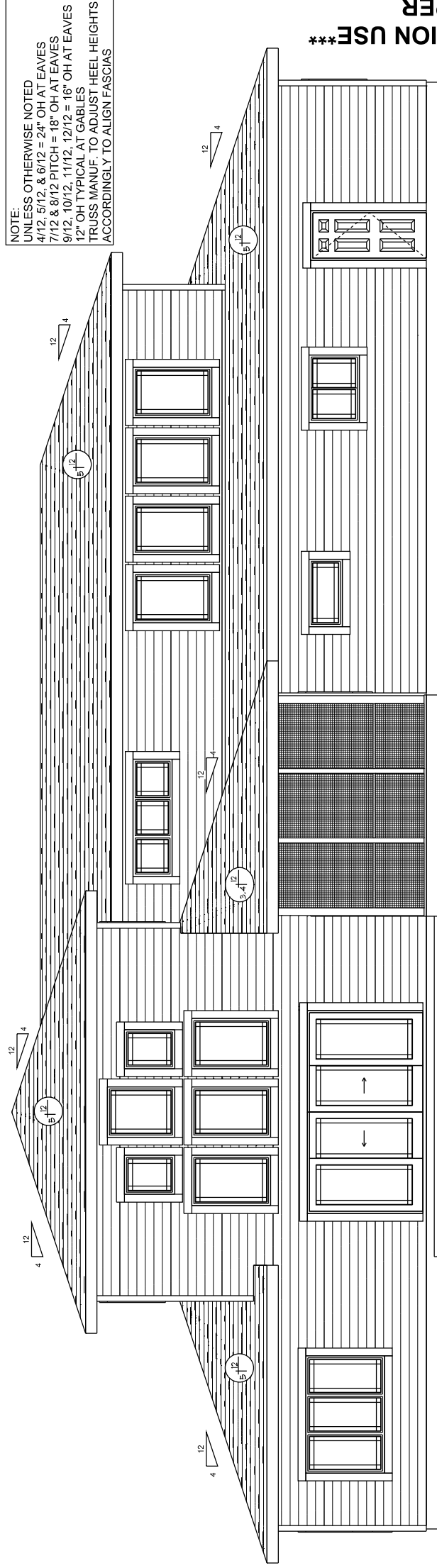
Sales Rep: Steve "Shooter" Schutte  
steve.schutte@bldr.com  
Design By: Shawna Athearn  
shawna.athearn@bldr.com

Project # 20-002  
Start Date: 02-19-20  
Revisions: 03-31-20  
04-28-20

HOFFMAN HOMES  
Dan & Linda Chase Residence  
Eau Claire, WI

421 Oak Avenue  
Menomonie, WI 54751  
p: (715) 235-3491 f: (715) 235-5059  
**Builders**  
FirstSource

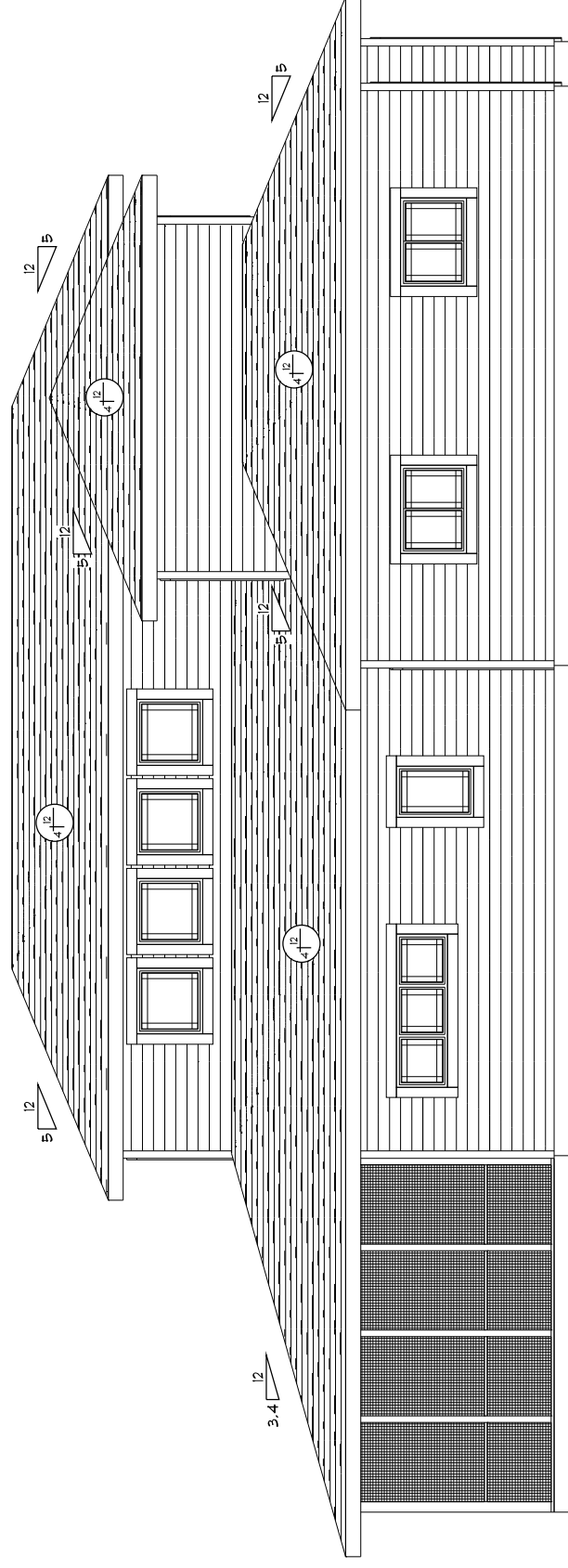
\*\*\*COPYRIGHT NOTICE\*\*\*  
 These drawings are the property of ProBuild/BFS.  
 They may not be reproduced, redrawn, or used  
 for construction purposes without written permission  
 from ProBuild/BFS per Federal Copyright Laws.  
 Unauthorized use may result in copyright infringement  
 damages.



## REAR ELEVATION

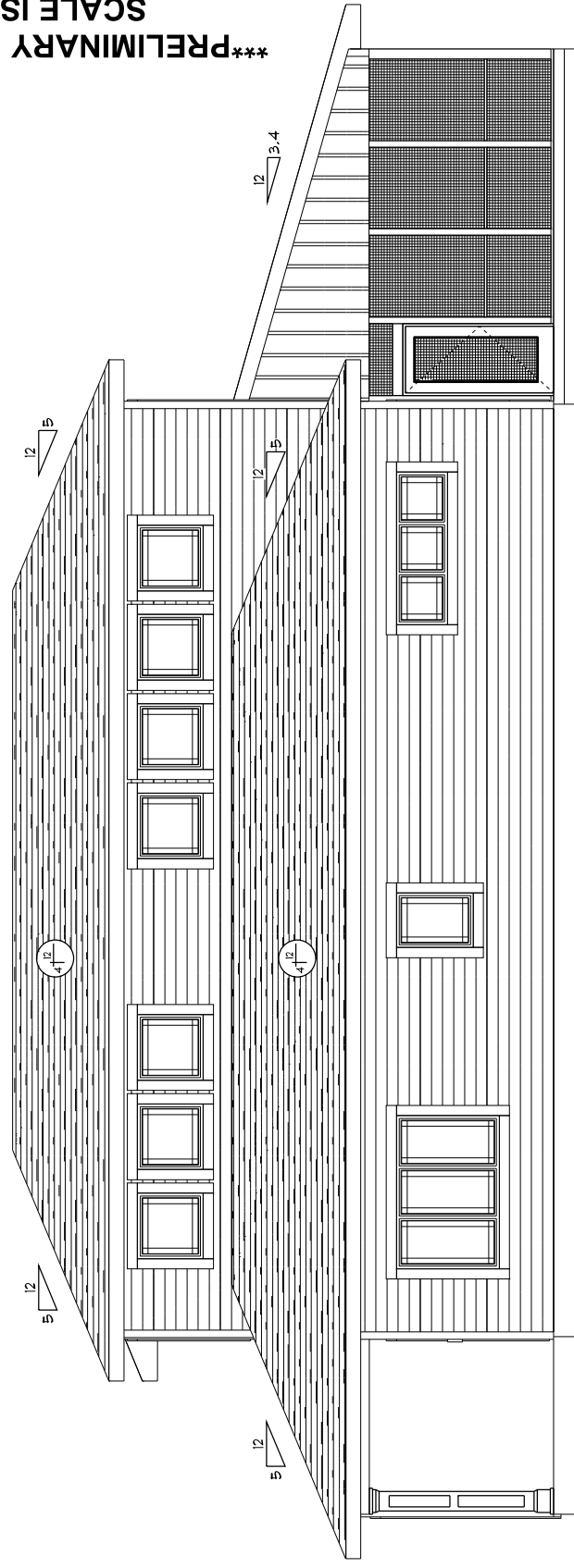
SCALE: 1/4" = 1'-0"

\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*  
 SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER



## LEFT ELEVATION

SCALE: 1/4" = 1'-0"



## RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

**IMPORTANT**  
 \* Check with local building officials about permits and local building codes.  
 \* These drawings may need to be adapted to your specific site and project.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
 \* ProBuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.

Sales Rep: Steve "Shooter" Schutte  
 steve.schutte@bldr.com

Design By: Shawna Athearn  
 shawna.athearn@bldr.com

Project # 20-002  
 Start Date: 02-19-20  
 Revisions: 03-31-20  
 04-28-20

**HOFFMAN HOMES**  
 Dan & Linda Chase Residence  
 Eau Claire, WI

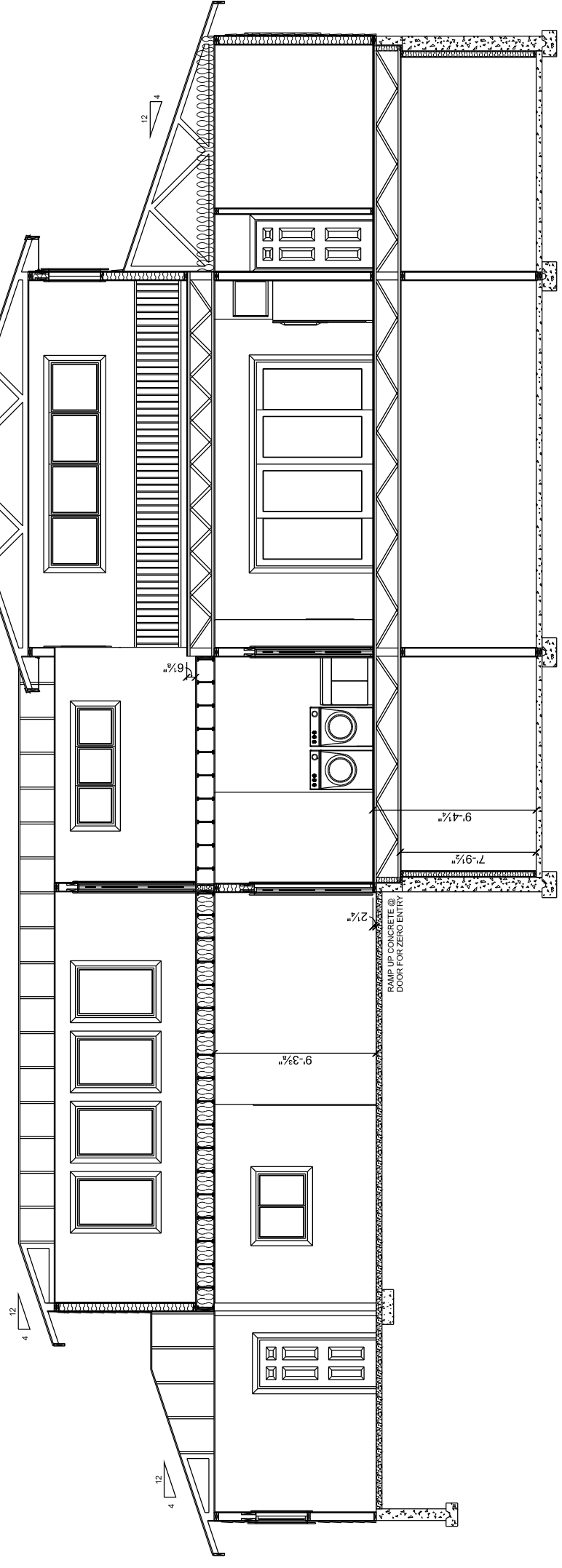
**Builders FirstSource**  
 421 Oak Avenue Menomonie, WI 54751  
 P: (715) 235-3491 F: (715) 235-5059

\*\*\*COPYRIGHT NOTICE\*\*\*

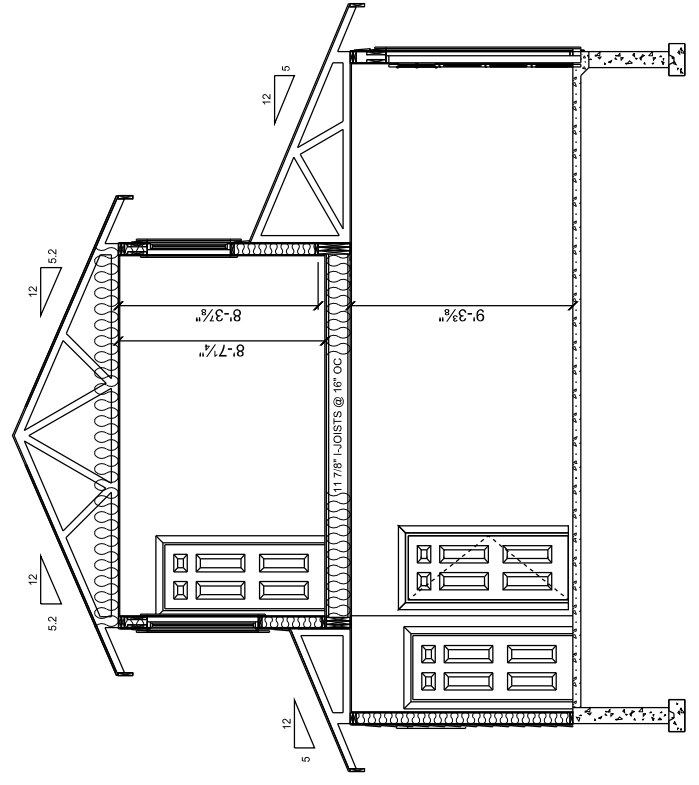
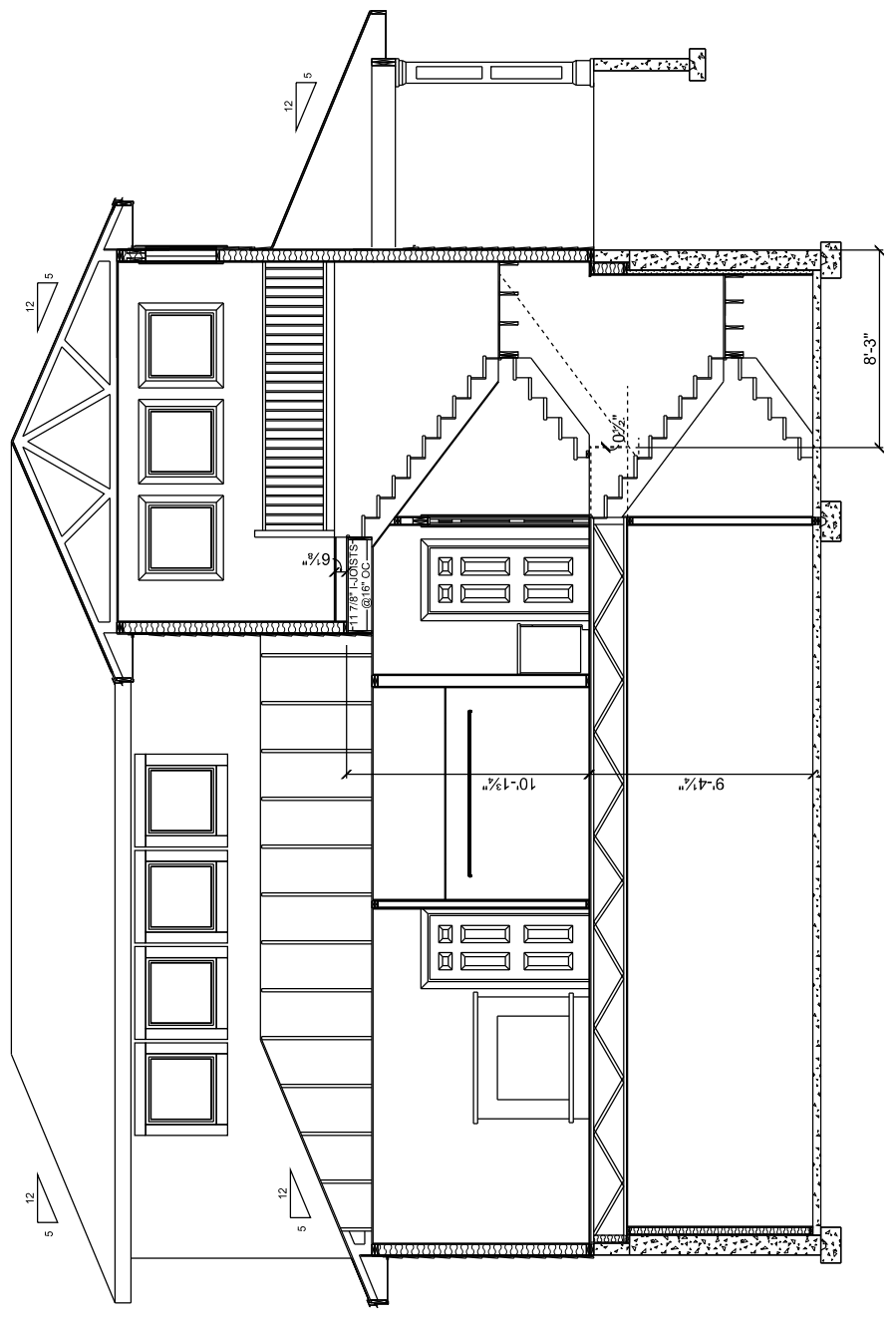
These drawings are the property of Probuild/BFS. They may not be reproduced, redrawn, or used for construction purposes without written permission from Probuild/BFS per Federal Copyright Laws. Unauthorized use may result in copyright infringement damages.

\*\*\*PRELIMINARY DRAWINGS ONLY - NOT FOR CONSTRUCTION USE\*\*\*  
SCALE IS 1/2 AS SHOWN IF PRINTED ON 11X17 PAPER

**IMPORTANT**  
Check with local building officials about permits and local building codes.  
These drawings may need to be adapted to your specific site and project.  
These general drawings are not produced by an Architect or Engineer.  
Before construction customer should consult a contractor.  
Probuild/BFS assumes no responsibility for claims or damages arising from errors, omissions, deficiencies or defects of the drawings.  
Safety: 1. State or local building code/regulations; 2. The project; 3. Structural requirements; 4. Existing conditions specific to the site; or an architect to determine if these drawings need to be changed to meet the requirements of the applicable building code.



NOTE:  
UNLESS OTHERWISE NOTED  
4/12, 5/12, & 6/12 = 24" OH AT EAVES  
7/12 & 8/12 PITCH = 18" OH AT EAVES  
9/12, 10/12, 11/12, 12/12 = 16" OH AT EAVES  
12" OH TYPICAL AT GABLES  
TRUSS MANUF. TO ADJUST HEEL HEIGHTS  
ACCORDINGLY TO ALIGN FASCIAS



Project # 20-002  
Start Date: 02-19-20  
Revisions: 03-31-20  
04-28-20

Sales Rep: Steve "Shooter" Schutte  
steve.schutte@bldr.com

Design By: Shawna Athearn  
shawna.athearn@bldr.com

Hoffman Homes  
Dan & Linda Chase Residence  
Eau Claire, WI

Builders  
FirstSource  
421 Oak Avenue Menomonie, WI 54751  
P: (715) 235-3491 F: (715) 235-5059





## Development Guidelines for Waterway and Greenway Areas

A. **Purpose and Authority.** The guidelines established herein have been adopted pursuant to the authority granted in Title 18 (Zoning Code) and Chapter 2.64 (City Waterways and Parks Commission) of the Eau Claire Municipal Code and in accordance with the policies and recommendations contained in the Eau Claire Waterway Plan which have been adopted as an official documents of the City's Comprehensive Plan. These guidelines implement official City policy which state that the protection, enhancement, and promotion of the City's waterways is a public necessity and is required in the interest of the health, prosperity, safety, and welfare of the community. Established City policy states:

- Building design and site layout in development adjacent to the waterways should enhance the attractiveness of the natural setting and stimulate an appreciation of the waterway's beauty;
- The ultimate land use for the waterway corridor should be open space, recreation, and only that development which permits public access and enjoyment and is physically, visually, and functionally consistent with the goals of waterway revitalization.

To these ends, the guidelines stated herein have been established to protect the aesthetic and visual character of the waterways and greenway system, to enhance and protect water quality and the riparian environment, and promote high quality design and development along these areas.

B. **Applicability.** These guidelines apply to development on properties delineated in Chapter 2.64 for which any zoning variance, site plan, conditional use permit, rezoning, or other matters in which review by the Board of Appeals, Waterways and Parks Commission, Plan Commission, or City Council is required. In addition, administrative decisions of City staff which effect the waterways, greenway, or shoreline shall be made consistent with these guidelines and, whenever possible, in consultation with the Waterways and Parks Commission. These guidelines shall be considered in addition to the provisions established for floodplains and wetlands and those standards specified in Title 18. The approval of such development may include conditions deemed necessary to insure compliance with these guidelines.

C. **Definitions.** The definitions contained in Title 18 and listed below are applicable to these guidelines.

*Greenway.* Public lands which comprise the open space system abutting the waterways and delineated in the Eau Claire Waterways Plan.

*Ordinary High Water Mark (OHWM).* The point on a bank of a waterway up to which the presence and action of surface water is so continuous as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognizable characteristic. Final determination of the location of the OHWM shall be made by the City Engineer.

*Shoreline.* Land abutting the waterways extending landward from the OHWM to the floodway boundary or to the top of the bank, whichever is greater.

*Waterways.* The Chippewa River, Eau Claire River, Sherman Creek, Lowes Creek, Otter Creek, Little Niagara Creek, Hallie Lake, which lie within the City of Eau Claire and Half Moon Lake.

**D. Guidelines.**

1. Vegetation and Topography. Removal of the existing vegetation along the shoreline and on steep slopes along the waterways can result in severe environmental and aesthetic damage to the waterways and should be avoided as much as practically possible and kept to the minimum necessary for the development to occur. Maintaining the existing vegetation in these areas is important to provide a stable shoreline, protect water quality, keep nutrients from the water, preserve native flora, enhance the appearance of the aesthetic value of the natural environment, and preserve fish and wildlife habitat.

Earthmoving and filling should also be kept to the minimum necessary for the development to occur. Where earthmoving and filling activity is approved, grading, erosion prevention, and vegetation restoration plans will be reviewed by the City Engineer and Parks and Recreation Department to minimize erosion from the site during construction and upon completion of the project. When the use of fill is approved for the development, it is not to contain garbage refuse, any form of contaminated materials, broken asphalt and concrete, tires, and other debris.

The primary means for providing permanent bank stabilization where the vegetation is disturbed is through replanting; however, shorelines subject to severe erosion and shorelines located within the Central Business District and Water Street Commercial District both as defined in the Comprehensive Plan may be developed at an “urban” scale, thus permitting manmade features or structures such as terracing and retaining walls to be used for bank stabilization purposes. Bank stabilization through the use of rip-rapping is permitted, however, not encouraged in these areas. If this method is selected, it must consist of only clean rock material, not materials such as broken concrete and asphalt, tires, and other debris. When rip-rapping must be utilized, it must be minimized in area and scale as much as practically possible and completed with a combination of landscaping and/or terracing to “soften” its appearance along the waterways.

Large trees are an integral element of the natural environment along the waterways and significantly add to the aesthetics of these areas; thus, every effort should be made to maintain existing trees along the shoreline and on steep slopes along the waterways, particularly those which appear to be healthy. For those trees which are retained, it is important that the existing grade elevation and soil at the base be altered as little as possible to ensure their healthy existence. A tree exceeding 6 inches in caliper which is removed should be replaced with a new tree 2 inches or more in caliper.

The provisions on river bank management, plantings, and forest management, contained in the Natural and Cultural Resource Protection Plan within the Waterways Plan dated July 10, 2012, and on file in the office of Community Development, applies and is adopted herein by reference.

2. Drainage. The City will continue to apply and enforce the provisions of its *Surface Water Management Plan* and its WPDES (Wisconsin Pollutant Discharge Elimination System) Municipal

Storm Water Discharge Permit with the Wisconsin Department of Natural Resources throughout the watersheds that drain to the rivers, creeks, and lakes. The City Engineer will determine the required improvements for drainage.

Runoff from rainfall, snow melt, or other activities will be collected on-site and treated with site-appropriate Best Management Practices (BMPs) for pollutant removal prior to discharging into the public storm sewer system. New outfalls on the river and stream banks will be discouraged unless there is not a practical alternative. Best Management Practices may include:

- Ponds to detain and filter runoff before it reaches a stream, natural lake, or wetland
- Rain gardens
- Bio-filtration devices
- Vegetated swales
- Infiltration areas
- Pervious pavement
- Buried storage vaults
- Oil and water separators.

BMPs may also include “good housekeeping” practices to keep pollutants from entering site runoff. These practices may include:

- Covering dumpster or material storage areas to prevent contact with rainfall
- Nutrient management programs to prevent over-use of fertilizers and/or pesticides
- Site designs that minimize paved areas and areas exposed to vehicular traffic.

Storm water may also be captured, cleansed, and released using BMPs located under parking lots.

3. Unique Resources. Every effort should be made to protect the natural topographic and landscape features of a site as well as scenic overlooks, vistas, and historic sites as noted in the Waterways Plan.
4. Orientation. Buildings on sites abutting a waterway or the Greenway will be designed to benefit from that location as well as contribute to the beauty of the waterway environment.

Building features that will be encouraged or considered by the City during the review of site plan applications along the waterways include:

- Equal façade treatment on all sides
- Windows facing the waterway
- Plazas, decks, or balconies toward the water
- Materials such as clay brick, wood, stone, architectural accent metals and low-reflective glass.

Site design and building architecture should allow for the mutual benefit of the private development and the public open space; the design of each should complement the other while providing an apparent demarcation between the two. Means of demarcation may include:

- Horizontal separation
- Elevation differences
- Plantings

- Planted berms
  - Stoops, porches, decks, plazas, or balconies
  - Fences that are 90 percent open (e.g., wrought iron or similar) or low masonry walls.
5. Setback. In order to minimize any adverse effects on the waterway environment and enhance the appearance and image of these areas, it is necessary that development, including structures, parking lots, drives, storage areas, signs, decks, deposition or extraction of materials, etc., be set back from the waterways. Buildings should be set at least 40 feet from the top of bank in order to protect a corridor of trees and other vegetation as well as to soften the view to the building from the water; reductions to this guideline may be granted in the Downtown as outlined in the Waterway Plan. The top of bank will be located by the City Engineer. It is commonly defined as the point at which the slope changes from less than to greater than 20 percent. Parking areas, driveways, public streets, plazas, decks, and similar land improvements may be located at a reduced setback but not less than 10 feet from the top of the bank or greenway. In locations where there is no top of bank, the setback should be at least 50 feet from the Ordinary High Water Mark (OHWM). Where there is publicly owned land along the waterfront (the Greenway) Buildings or other structures should be located no closer than 20 feet from the land-side edge of property line with such land. In addition to the guidelines set forth above, site specific characteristics of a particular property as listed below may dictate additional setback:
- The property abuts an especially scenic or natural portion of the greenway and such setback is essential to preserve these areas;
  - Slope of the area exceeds 12 percent;
  - The property possesses unique or valuable features or resources in which the additional setback is necessary to preserve such features;
  - The Eau Claire Waterway Plan identifies an area as proposed greenway and the additional setback is necessary to allow for the eventual extension of the greenway along that portion of the waterway without conflicting with the proposed development;
  - The floodplain or shoreland/wetland provisions require additional setback;
  - The height or mass of a building which is proposed would have a detrimental impact on the abutting greenway or waterway.

The setback guidelines of this section are not applicable to the structures and facilities identified below since by their nature a setback is not reasonable or practical in most cases. However, this does not waive requirements such as the floodplain or shoreland/wetland provisions.

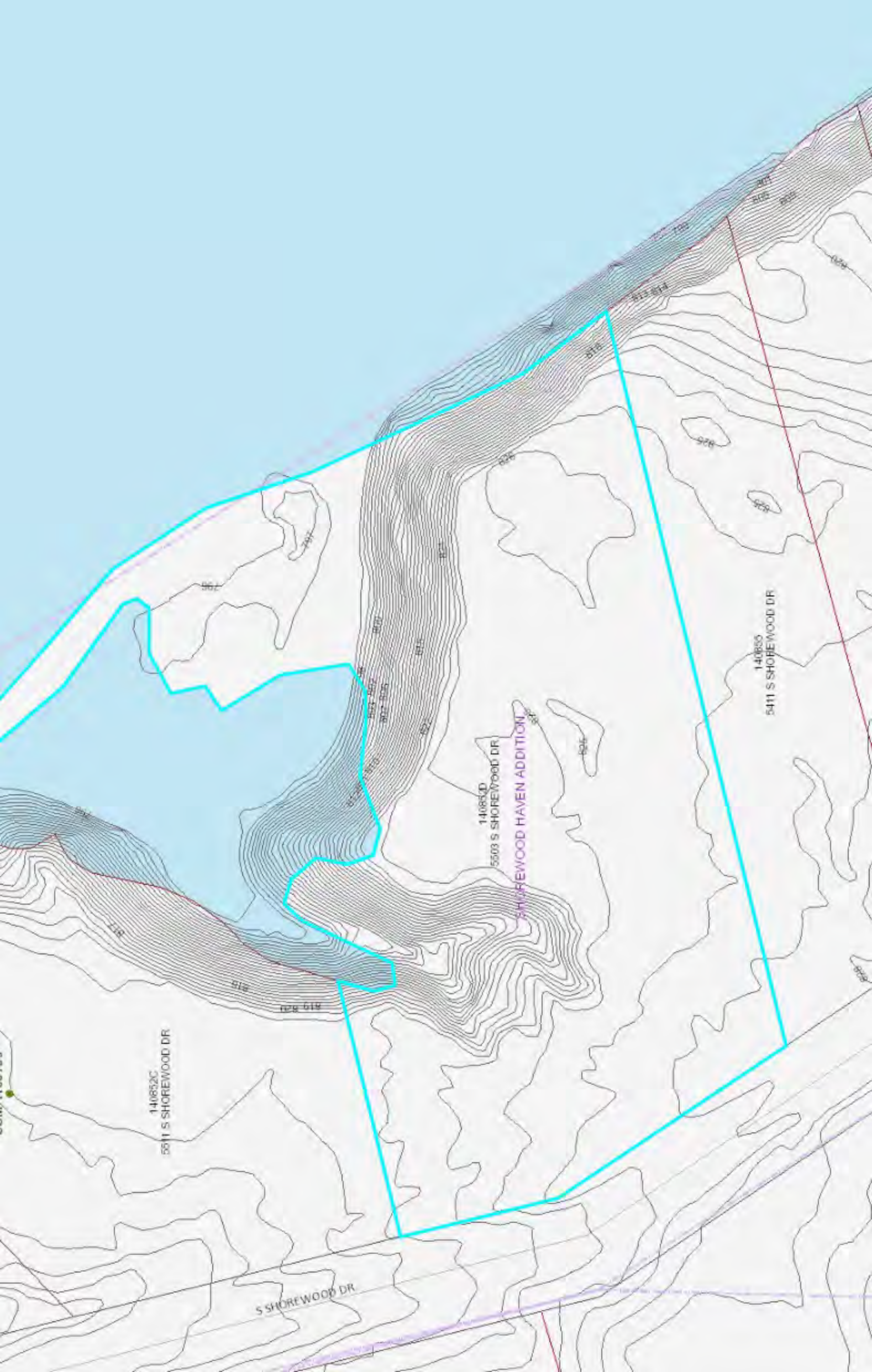
- a) Publicly related activities by local, state, or federal government such as:
  - Public utility structures and facilities, including bridges, roads, sanitary sewer, storm sewer, and water utility systems, storm sewer outfalls, pumping stations, and dikes
  - Recreational facilities within the greenway, including trails, scenic overlooks, observation platforms, boardwalks, retaining walls, docks, piers, boat ramps, benches, and ancillary items such as parking lots and access drives
  - Signs for streets, historical sites, and the greenway
- b) Other utility and transportation structures and facilities, including railroad tracks, railroad bridges, dams and related structures, above and below ground transmission lines.

- c) Privately owned docks, piers, boat ramps, and stairways.
6. Building Penetration. Land development adjacent to waterways or linear waterfront parks should avoid creating buildings that form a disproportionately long wall parallel to the waterway. View and access points through river corridor development will be designed. Development composed of two or more smaller buildings are favored over a single, very long building in order to allow visual and physical penetration toward the waterway from inland sites. Side yard setbacks prescribed in the existing zoning districts will also mandate a certain degree of building separation, particularly in lower density residential areas.
  7. Landscaping. A landscaped buffer between the greenway and any development is important to minimize potential conflicts between the two uses and promote a high quality, visually pleasing environment. Sites along the waterways will be well landscaped in order to provide a suitable transition to the more natural waterway corridor, to reflect the value of the riparian property, provide natural benefits and generally conform to the City's standard landscaping requirements. The required setbacks described in this plan will receive particular attention especially as needed to soften the views to buildings from the water or to create a visual demarcation between public and private properties.
  8. Screening. Visually objectionable development features such as loading docks, parking lots, overhead doors, trash receptacles, or outdoor storage will be screened from public view by plantings, berms, walls, or fences as prescribed by the Eau Claire Zoning Ordinance. Fences or walls will be combined with plantings to soften their appearance. Coniferous plantings will be included to provide year-round effectiveness and color. Materials and plantings will harmonize with the building and overall site in the following manner:
    - If the greenway or waterway is to abut an active use area such as a parking lot or driveway, hedges, shrubs, berms, or any combination thereof must be provided to separate the active use areas from the greenway. A continuous buffer having a minimum height of 3 feet is necessary to provide such separation.
    - Uses which may be more incompatible with the greenway and waterway environment require greater screening. Such uses and equipment include: trash receptacles, mechanical and utility equipment, truck loading and unloading areas, industrial uses, and open storage areas. Solid fences or retaining walls 6 to 8 feet in height used to provide screening should be constructed with materials that complement and enhance the appearance of the development. It is also important to landscape along the fence or retaining wall to "soften" the appearance of the structure.
  9. Access to the Greenway. Private sites are encouraged to provide pedestrian links to any adjacent multi-use path in the Greenway. Public sidewalks and bicycle paths should also be provided at many locations to the waterfront trails to tie the neighborhoods to the waterfronts.
  10. Exterior Lighting. The design of exterior lighting should complement the development and shall be shielded as per the City's Exterior Lighting Manual standards. Exterior lighting which enables evening utilization of the greenway is encouraged as part of the site improvements for a property.

11. Utility Lines. Utility lines such as telephone, cable, and electric should be placed underground in order to enhance the appearance of the development.
12. Signs. Signs erected along the waterway or greenway can negatively affect the appearance of a development and be incompatible with the natural setting of the waterways. Billboards (off-site outdoor business advertising signs) will not be allowed within 300 feet of the Ordinary High Water Mark of a waterway. If visible from the waterway or Greenway, flashing signs, animated signs, electronic signs, and reader board signs should be at least 300 feet from the Ordinary High Water Mark of a waterway. Business wall signs facing a waterway on parcels abutting the waterway must be approved with a signing plan as set forth in Chapter 16.16 and should be subdued and indirectly lit (not back-lit). Pylon signs will not be allowed between a building and a waterway. The design and location of all other signs should complement the design of the development and preserve the scenic qualities of the area.
13. Visual Access. The Eau Claire community wishes to maintain the image of verdant and naturally forested river valleys, creek corridors, and lake edges. At the same time, it is understood that sustained appreciation for these resources grows, in part, from the ability to view them. Seeing portions of buildings from the water or the opposite shore is not considered inappropriate or objectionable in all instances.

It is acknowledged that urban development along the Chippewa River between Dells Dam and the Clairemont Avenue bridge can, if properly designed, have a high degree of visual compatibility with the river. Therefore, the City will allow judicious thinning and pruning of trees and brush along the waterways in order to create views and glimpses of the water as long as the overall impression of forest is maintained. The City Forester should be consulted prior to undertaking such actions to ensure that bank stability is maintained, native flora is not destroyed, and that it is in compliance with DNR regulations.

- E. **Submittal Requirements.** Any development application for which these guidelines are applicable should be accompanied by information required for a site plan submittal and as necessary to determine that the application is in compliance with the objectives of these guidelines. In addition, the following information should also be provided:
1. Location of the OHWM, floodway boundary, meander line (if applicable), and floodplain boundary on the site plan;
  2. Location of the 50 foot setback from the OHWM or the 40 foot setback from the top of bank;
  3. Description of exterior building materials proposed for all buildings;
  4. General description of the existing shoreline and site vegetation, vegetation proposed for removal, proposed landscape materials, and bank stabilization measures proposed. Existing trees exceeding 6 inches in caliper should be identified by species and shown on the site plan.





December 2, 2020

To: Waterways and Parks Commission  
From: Associate Planner  
Subject: Comprehensive Plan 5-year Review Discussion

The Plan Commission has been holding work sessions to update the City's 2015 master plan called the [Comprehensive Plan](#). They are seeking your input on the [Parks, Greenways, Trails Plan](#) and [Natural Resources Plan](#).

A complete update is required by state law every 10 years, but this interim step is a point in time to pause and reconsider if anything needs changing before the next major update in 2025.

Typically, this current update does not include rewriting or minor textual changes to the plan or chapters but instead focuses on the [Plan Implementation Program](#) section (see Table 15-10). In other words, are there new tasks that should be considered by the commission or current items to be changed? During the Plan Commission discussion, it was asked for the Waterways and Parks Commission to discuss potential future park(s) and/or open space areas outside of the city limits.

Please review these specific plan chapters and implementation table and come with any ideas you may have for discussion.

---

Ryan Petrie  
Associate Planner



## PARKS, RECREATION AND FORESTRY

### STAFF REPORT

#### PROJECT NAME: Adopt-A-Park or Trail Program

**To:** Waterways and Parks Commission

**Date:** 12/2/2020

**From:** Steve Plaza, Parks, Forestry, Cemetery, Building & Grounds Manager

**Description:** Review the Plan update for McDonough Park Active Aging

**Location:** McDonough Park

**Background:** At the December 2018 WWP Commission meeting a conceptual plan was approved for the design of McDonough Park Active Aging Area. This design was a conceptual plan. City staff have been working with the user groups to design a construction document to begin improvements in 2021. Attached you will find the construction drawing for McDonough Park which has been approved by the Active Aging Group. All the elements in the initial concept plan are shown in our construction design.

**Justification:** The City has received a DNR matching grant of \$204,578. We have also received over \$100,000 in pledges, bench donations, and a Mayo Home Town Health Grant to help reach our goal of matching the DNR Grant. The DNR grant expires in June of 2022 and we want to begin construction in 2021. With the approval of this construction plan it will allow city staff to contact the contractor to begin work in 2021.

**Mission Statement:** To support the beautification and awareness of local parks or trails while encouraging and recognizing neighborhood and community involvements.

**Proposed Location:** McDonough Park

**Facilities Features:** Meandering sidewalks, outdoor exercise area, table tennis area, bocce courts, expanded pavilion

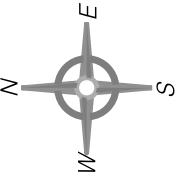
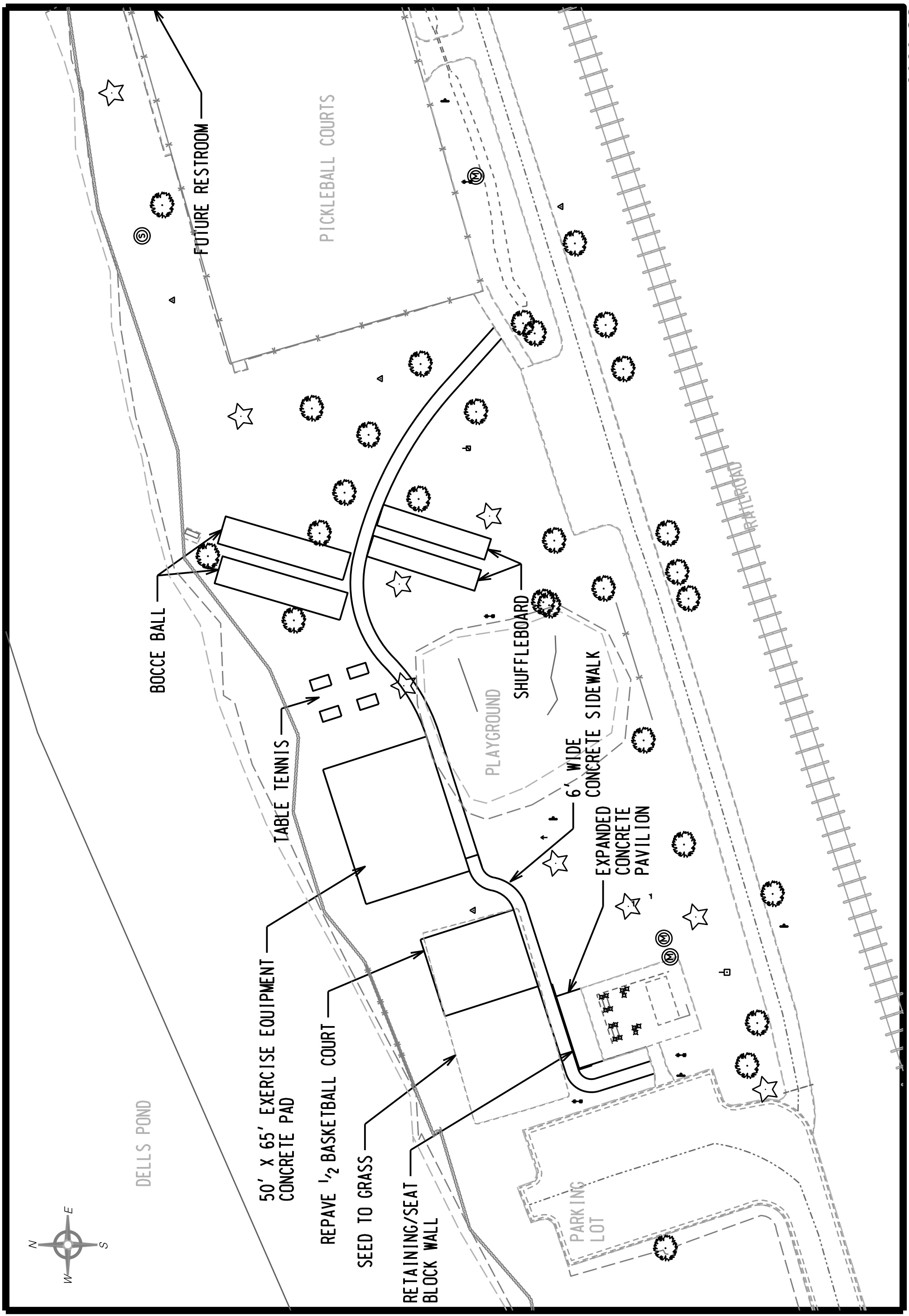
**Storm Water:** No impact at this time

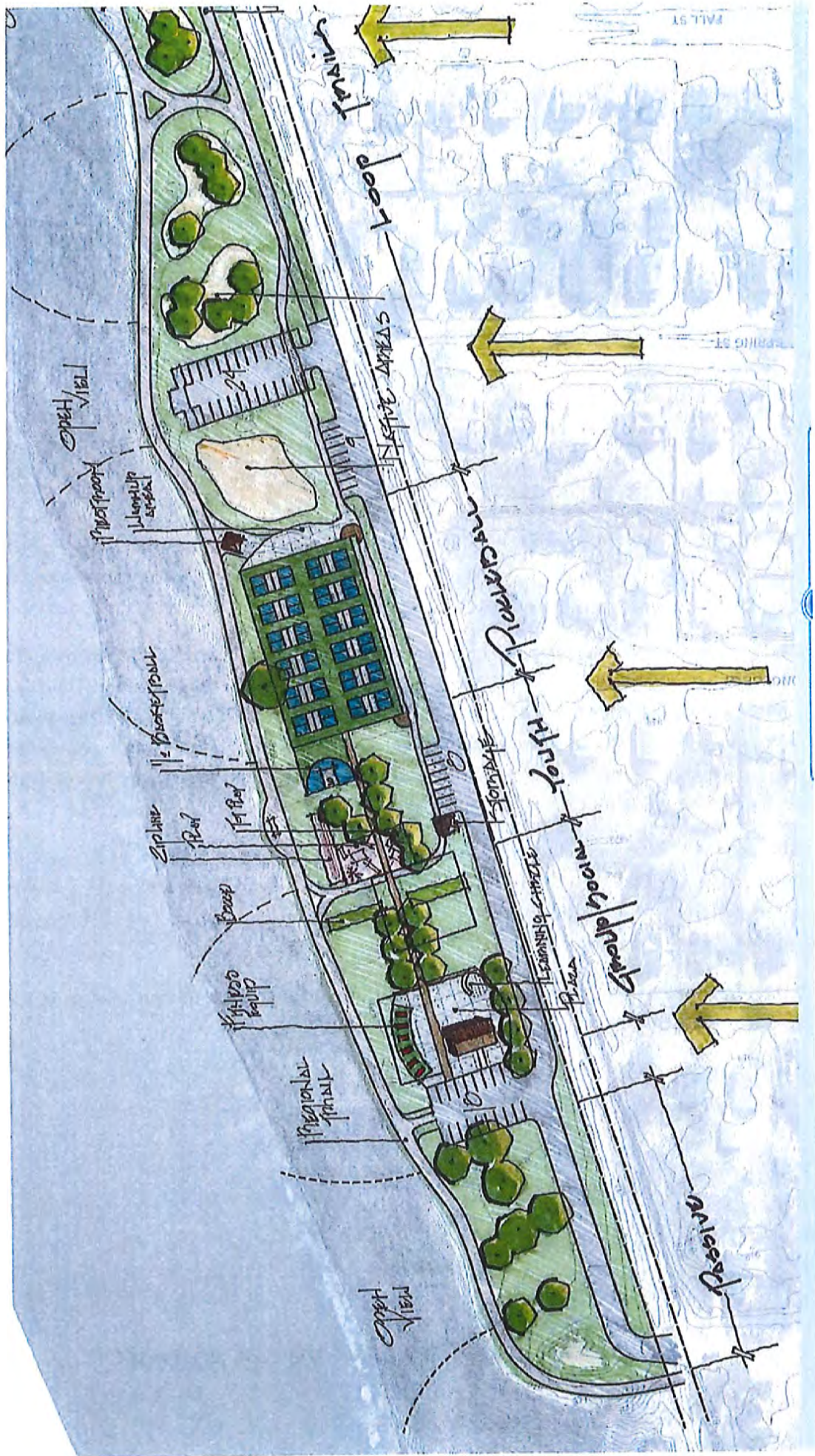
**City of Eau Claire Park and Open Space Master Plan:** Goal "C" subsection 3: "Promote joint public-private ventures in developing park and waterway facilities"

**City Comprehensive Plan:** Consistent with the Comprehensive Plan.

**Financial:** Match DNR Grant of \$204,578, City Staff time will also count toward the grant

**LAWCON:** N/A





FALL 97

FALL 97

# PARKS, RECREATION AND FORESTRY

## STAFF REPORT

### PROJECT NAME: Adopt-A-Park or Trail Program

**To:** Waterways and Parks Commission

**Date:** 12/2/2020

**From:** Steve Plaza, Parks, Forestry, Cemetery, Building & Grounds Manager

**Description:** Placing StoryWalk® stands in Owen Park & Carson Park Playground

**Location:** Owen Park and Carson Park Playground

**Background:** To help reduce the spread of COVID-19 in our community, the L.E. Phillips Memorial Public Library has had to close for an extended period of time on two occasions. Knowing that this action is necessary and justified in the middle of a pandemic, it has consequences that affect members of our community. Closures and reduced in-person services limit access to reading material and other educational and recreational resources. In an effort to ensure that local children still have access to books and positive reading experiences with their families, the library applied for a COVID Recovery Grant from the United Way of the Greater Chippewa Valley and was awarded funds to install a StoryWalk® in two locations within the City of Eau Claire.

Each StoryWalk® will features high-interest stories and activity prompts that will be switched out on a quarterly basis. The library selected Owen Park and Carson Park as preferred locations for a StoryWalk® installation as they are places to which local families are naturally drawn. With a StoryWalk® along a trail or near a playground, families will be able to exercise their bodies while developing essential early literacy skills and growing their interest in books and reading.

**Justification:** These StoryWalk® would help bring families to the park and be a nice addition to our parks.

**Mission Statement:** To support the beautification and awareness of local parks or trails while encouraging and recognizing neighborhood and community involvements.

**Proposed Location:** Carson Park Playground Area and Owen Park Sidewalk

**Facilities Features:** 15 StoryWalk® holders that the library staff would update thought the season

**Storm Water:** No impact at this time

**City of Eau Claire Park and Open Space Master Plan:** Goal “C” subsection 3: “Promote joint public-private ventures in developing park and waterway facilities”

**City Comprehensive Plan:** Consistent with the Comprehensive Plan.

**Financial:** All funds would be from the Grant the Library staff received from the COVID Recovery Grant from the United Way of the Greater Chippewa Valley. City Parks staff would place the holders and is part of the grant cost.

**LAWCON:** N/A



A

Please note the book holder we will be receiving are not angled back – they will be straight – see attached drawing



# StoryWalk® Solutions

## ALUMINUM FRAME AND ALUMINUM POST - FLUSH

For a 18" h x 24" w page, with a viewable area of 17" h x 23" w.

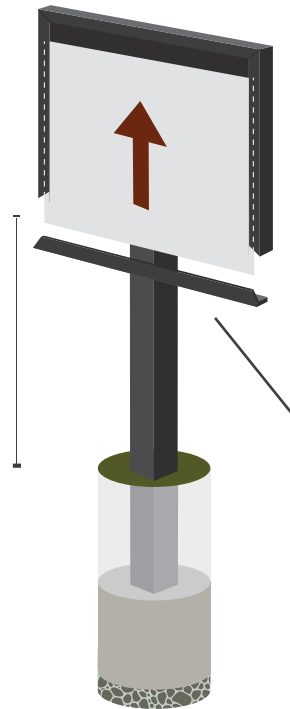
Flush mounted to the post

Standard post length is 60", for in ground installation

Longer posts and surface mounted posts are available..

Sign panel mounts 28-32" from grade

Prepare footing depth per your region's requirements. Ensure post is plumb and level while back filling with appropriate material.



Removable bottom rail for page insertion.

The 2 sheets of acrylic - with the laminated page between them - slide up into the exposed channel on the bottom of the frame.

The powder coated aluminum frame has a 1 year warranty.

Made in the USA.

### Assembly Instructions

1. Install the frame to the sleeve with the (4) allen head screws, one flat washer, and one nylock nut. The allen driver is provided, you will need a 7/16" socket to install the nylock nut. Do not use power tools as stainless steel hardware will gall and seize.
2. Remove the bottom frame rail 2 screws with the allen driver. Holding the rail in your hand, install a screw thru the rail, then push a white retaining washer down over the threads. Repeat. The retaining washer will help keep the screws in the frame rail which you replace pages.

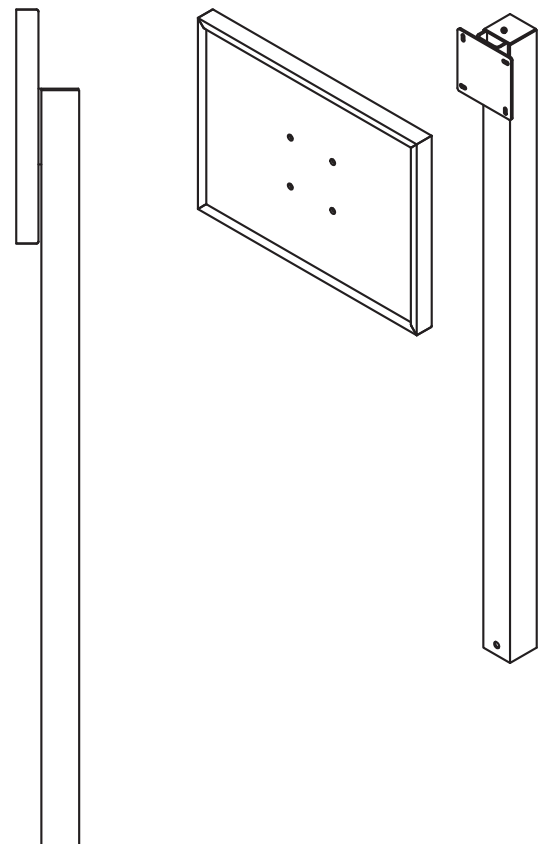
#### Page Installation – first time

1. Remove the blue masking from both sides of the acrylic.
2. Place your page and optional colored backer between the sheets of acrylic. Be sure your pages are numbered, or you know what page order they should be installed.
3. Remove the bottom frame rail using the provided driver.
4. Slide the sheets up into the exposed frame channel.
5. Replace the bottom rail.

#### Cleaning Instructions

Use a soft cloth and dilute soap and water to wash and dry the displays.

DO NOT USE ammonia cleaners (Windex) or paper towels.



## 2021 Waterways and Parks Commission Meeting Dates

<b>Agenda Item Wording Due Date</b>	<b>Packet Material Due Date</b>	<b>Posted on Web Site</b>	<b>Meeting Date</b>
January 20	January 21	January 22	January 27
February 17	February 18	February 19	February 24
March 17	March 18	March 19	March 24
April 21	April 22	April 23	April 28
May 19	May 20	May 21	May 26
June 16	June 17	June 18	June 23
July 21	July 22	July 23	July 28
August 18	August 19	August 20	August 25
September 15	September 16	September 17	September 22
October 20	October 21	October 22	October 27
November 17	November 18	November 19	November 24*
December 15	December 16	December 17	December 22*

\*tentative dates

All dates subject to change.

# November/December 2020 Special Events

Event	Date	Location
Light Up Eau Claire	December	Citywide



# CITY OF EAU CLAIRE COMMUNITY SERVICES DEPARTMENT PARKS, RECREATION AND FORESTRY November/December 2020 Monthly Report

## Community Services Department

- With the rise in COVID cases in the Eau Claire area, Community Services has revisited Contingency Plans and has placed an increased focus on cross training staff within and between the Divisions to be sure we're prepared for any scenario.
- Community Services has implemented more stringent cleaning processes and added air purifiers in all divisions, in response to reducing the risk of spreading COVID.

## Parks Division

- The Chippewa River Water Trail was designated a National Recreation Trail by American Trails. American trails are the lead nonprofit partner of the National Parks Service National Recreation Trails (NRT) Program. The designation process began in 2014 with staff and community volunteer involvement. This trail will be part of the NRT data base, website, and e-Newsletter promoting for people around the county to utilize this trail. Visit [americantrails.org](http://americantrails.org) to learn more!
- American Trails states in their publication, "The immensely popular Chippewa River Water Trail courses through historic downtown Eau Claire, Wisconsin. The 4.2-mile water trail flows through an urban landscape endowed with natural beauty including clean water, strong fisheries, native grasses and trees, sandstone cliffs, and cave formations. The Chippewa River Water Trail provides a conduit for paddlers to retrace the former logging paths of the mid-1800s and understand the river's role as an economic and cultural driver for the city."
- Completed the fencing project in SW Dog Park and Launch Ramp. A grand opening will be held in the spring of 2021.
- The 7<sup>th</sup> Street Eco Pod has been completed. It was installed by the Upper Westside Neighborhood Association (UWNA) through a Neighborhood Matching Fund initiated by the Planning Department. An Eco-Pod is an area of sustainable native plants that also provides a habitat for birds, butterflies and bees, with educational signage for trail users. This site will germinate over the winter and start to bloom in the spring and summer. City staff assisted with the project when needed, but the majority of the work was done by the Upper Westside Neighborhood Association.
- Completed playground improvements in the County Farm park that the Northwest Neighborhood Association help raise the funds for. Three new pieces of equipment were added.
- Cleared trails for Cross-country Skiing and Snow shoeing in NW & Pinehurst Park
- Building Crew assisted with set-up and tear down of all polling sites and the early drive through stations at City Hall
- As part of our Adopt a Park program, Parks Staff removed buckthorn along Half-Moon lake trail along with help from United way of the Chippewa County.

## Forestry Division

- Forestry finished fall planting of 400 trees.
- Staff removed foliage in the Forest Street special area to make way for the electric car charging station installation.

- Forestry Department placed a Christmas Tree in Haymarket Plaza coordinating our efforts the Downtown Eau Claire Inc.

### Recreation Division

- Due to concern over public safety in the face of the COVID-19 pandemic, Hobbs Ice Arena was temporarily closed to the public beginning Wednesday, November 18, 2020. Leadership will re-evaluate the closure on Tuesday, December 8, 2020. Services affected include: hockey practices, figure skating, open skating, competitive games, and any winter programming planned at Hobbs Ice Arena.
- Winter Recreation Programming will focus on outdoor and “pop-up” activities. Managing programs in this format, and with the guidance of the Health Department, will work well as we monitor community health situations and then proceed accordingly.
- In place of the annual Clearwater Winter Parade cancelled due to COVID, the Recreation Division has put together a holiday decorating event: The Clearwater Parade of Lights. Market & Johnson is sponsoring the event and the Chippewa Valley Home Builder’s Association is assisting with promoting the event. See the attached flier for event information.

### Prime Times

Recreation is working 2021 Spring/Summer edition. Once it is published, the document can be found online at [www.eauclairewi.gov/primetimes](http://www.eauclairewi.gov/primetimes).

### Special Events

The Special Events Committee continues to work with all the groups that conduct events within city parks and meets monthly. The group will also review alcohol license applications.



Enjoy the Holiday Season this year with the first ever Clearwater Parade of Lights!

Drive through our city on your own time, enjoying the homes and business that have decked their halls for the holidays, December 1st - 31st!

(Don't miss an entry, a printable map will be available December 1st on our Facebook page!)

Want to be one of those decorated houses and in the running to win one of our categories' prizes? Register your home or business now at [eauclaire.maxgalaxy.net](http://eauclaire.maxgalaxy.net) to join the contest and get on the map! All proceeds go to benefit the Eau Claire Parks, Recreation and Forestry's Scholarship Program.

\*\*\*Whether touring or competing be sure to visit [eauclaire.maxgalaxy.net](http://eauclaire.maxgalaxy.net) (Registration > Activity > F/W Community Programs) for all of the details!

Contact us at [recreation@eauclairewi.gov](mailto:recreation@eauclairewi.gov) or 715.839.5032 (M-F 8am-5pm) with any questions!

Happy Holidays Eau Claire, from our Sponsors Market & Johnson, Chippewa Valley Home Builders Association, and Eau Claire Parks, Recreation & Forestry! [See Less](#)